



**CITY OF ISANTI
PLANNING COMMISSION MEETING
TUESDAY, January 19, 2021
Immediately Following the 7:00pm City Council Meeting
CITY HALL**

Seating may be limited. If you would like to send in a comment for a Public Hearing to be read on your behalf, please submit to the Community Development Director ssellman@cityofisanti.us or (763) 762-5761.

- 1. Meeting Opening**
 - A. Call to Order
 - B. Pledge of Allegiance
 - C. Roll Call
 - D. Agenda Modifications

- 2. Organization of Advisory Bodies as per the City Code of Ordinances Chapter 8**
 - A. Election of 2021 Chair
 - B. Election of 2021 Vice-Chair
 - C. Election of 2021 Secretary
 - D. Approval of Meeting Dates

- 3. Meeting Minutes**
 - A. Approval of Minutes from December 15, 2020 Planning Commission Meeting

- 4. Public Hearing**
 - A. Request by Homepride, Inc for consideration of a Preliminary Subdivision and a Planned Unit Development called "Fairway Greens North" at PID's 16.020.1000 and 16.020.0803

 - B. Request by the City of Isanti for a Preliminary and Final Subdivision to combine the current UPS parcel, PID 16.053.0151, with a city-owned vacant parcels to the east located at PID 16.029.1400 and 16.020.0803

 - C. Request by the City of Isanti for a Preliminary and Final Subdivision to subdivide PID 16.124.0020 into three five-acre lots

- 5. Other Business**

- 6. Discussion Item**

- 7. Adjournment**



MEMORANDUM

TO: Planning Commission
FROM: Sheila Sellman, Community Development Director
DATE: January 19, 2021
SUBJECT: Organization of Planning Commission

Each January, it's appropriate to organize our Planning Commission. As such, we will be having elections of the following positions for Planning Commission:

- 1) Chair (currently Mayor Johnson)
- 2) Vice-Chair (currently Lundeen)
- 3) Secretary (currently Community Development Director Sellman) this position is usually held by staff and I suggest appointing Community Development Specialist Ryan Saltis.

The City Council approved meeting dates for 2021, the Planning Commission should also approve their meeting calendar.

Attachments:

- Meeting Calendar

2021 Planning Commission Dates and Deadlines

The City Planning Commission hold regular meetings immediately following the 7:00 p.m. City Council Meeting on the 3rd Tuesday of every month at Isanti City Hall. All meetings are held at Isanti City Hall at 110 1st Avenue NW, Isanti, MN 55040 in the City Council Chambers. The 2021 scheduled meeting dates and deadlines are below*:

Meeting Date	Deadline for Submission
January 19th	December 18th
February 16th	January 22nd
March 16th	February 19th
April 20th	March 26th
May 18th	April 23rd
June 15th	May 21st
July 20th	June 25th
August 17th	July 23rd
September 21st	August 27th
October 19th	September 24th
November 16th	October 22nd
December 21st	November 26th
January 18th	December 17th

*Subject to change

CITY OF ISANTI
PLANNING COMMISSION MEETING
TUESDAY, December 15, 2020
VIA ZOOM

1. **Meeting Opening**
 - A. **Call to Order:** Chair Johnson called the meeting to order at 7:40pm.
 - B. **Pledge of Allegiance**
 - C. **Roll Call:** Commissioners present: Jeff Johnson, Paul Bergley, Jimmy Gordon, Steve Lundeen, Dan Collison, Arissya Simon. Members absent: Alexander Collins.
Staff present: Community Development Director Sheila Sellman, City Administrator Josi Wood.
 - D. **Agenda Modifications:** None
2. **Meeting Minutes**
 - A. Approval of Minutes from November 17, 2020 Planning Commission Meeting. Motion by Collison to approve, second by Bergley, motion passes 5-0. We were unable to hear Commissioner Simon.
3. **Public Hearing**
 - A. Ordinance Amending the City Zoning Code, Ordinance 445 Section 16 signs: Sellman gave the staff report and explained this amendment was at the direction of the Planning Commission. The change is only for the Highway 65 Overlay District. No one from the public spoke on this item. Gordon stated we already require them to have landscaping around the sign and the business owner knows their business and should be able to have a sign that they think is best. There was discussion on how the Highway 65 corridor is the gateway to the city and it should be held to a higher standard. Motion by Lundeen to approve the ordinance amendment as presented, second by Collison, motion passed 3-2. Bergley and Gordon No. We were unable to hear Commissioner Simon.
 - B. Ordinance Amending the City Zoning Code, Ordinance 445, Section 6 Residential Districts: Sellman gave the staff report and explained that Fire Station is a Conditional Use in the R-3A district and as part of the sale to the Fire District we need to add Fire Station as a permitted use. No one from the public spoke on this item. Motion by Collison to approve, second by Lundeen, motion passed 5-0. We were unable to hear Commissioner Simon.
4. **Other Business:** None
5. **Discussion Item**
 - A. Concept Plan: Sellman gave the staff report on a housing concept plan for 80-acres north of Cajima adjacent to the golf course. The proposal includes a mix of single-family residential development of about 174 lots. The Commission would like to see some type of open space for this area, but is not interested in a city park. The site has some challenges with wetlands and the gas easement. Overall, the Planning Commission was in favor of the development. We were unable to hear Commissioner Simon.
6. **Adjournment:** Motion by Bergley, second by Lundeen to adjourn, motion passed 5-0 meeting adjourned at 8:18pm. We were unable to hear Commissioner Simon.

Respectfully Submitted by Sheila Sellman Community Development/Secretary.



MEMORANDUM

TO: Planning Commission

FROM: Sheila Sellman, Community Development Director

DATE: May 19, 2020

SUBJECT: Request by Homepride, Inc for consideration of a Preliminary Subdivision and a Planned Unit Development called "Fairway Greens North" at PID's 16.020.1000 and 16.020.0803

Request: Request by Homepride, Inc for consideration of a Preliminary Subdivision and a Planned Unit Development called "Fairway Greens North" located north of Cajima and adjacent to the golf course.

Overview/Background: The developers, Homepride Inc, currently own the subject two parcels that are 40 acres each in size. These parcels are currently zoned R-1, Single Family Residential. The comp plan guides these parcels as low density residential. The preliminary plat consists of 167 single family lots that range in size from 9,600 square feet to as large as 2.52 acres. The developer has indicated there will be a mix of single-family housing types in this development. From slab on grade to two-story houses. The developer has designed this plat using the R-3 zoning district as a guide but is requesting reduced setbacks. This will be accomplished through a Planned Unit Development. The following table represents zoning districts and their minimum requirements.

Zoning Dist.	Lot Size	Lot width	Front Setback	Side Setback	Rear Setback
R-1	11,000 sq.ft.	80 ft.	30 ft.	10 ft.	30 ft.
R-2	9,000 sq. ft.	75 ft.	30 ft.	10 ft.	30 ft.
R-3A	7,500 sq. ft.	60 ft.	30 ft.	10 ft.	30 ft.
Proposed	9,600 sq. ft.	60 ft.	30 ft.	8 ft.	20 ft.

As proposed the average lot size is 16, 439 square feet. Density for this development is about 2 units/acre which is line with the low-density land use designation. It is not clear if the lots along the golf course will have reduced setbacks as on the plat they appear to be less. If these are patio homes it is typical to see a 5-10' setback around the entire dwelling.

Natural Areas/trees

This parcel is difficult to develop with the large number of wetlands and trees present. The developer is proposing to fill in some of the wetlands and purchase wetland credits. A wetland mitigation report will need to be submitted and approved before development can begin, this could be broken into phases as the lots are developed. A tree removal and replacement plan has been submitted. The maximum replacement required by code is 8 tree/acre. The plantable area (not including wetlands, forested areas, and stormwater ponds) is about 56.6 acres therefore requiring 453 replacement trees. The Landscape requirements for residential development is 2 trees per lot, the Council will need to decide if they want to allow this requirement to be satisfied with the tree replacement plan or if they want to require this in addition to the replacement plan.

Parks and Trails

An existing bike trail extends north from 8th Ave NE and ends near the south parcel of the proposed development. This trail abruptly ends at the development's south portion and could be a possibility for extension. Sidewalks are shown throughout the development per city code requirements.

A 3.61-acre lot is shown on the preliminary plat as park space. This will be open space and will not be improved with equipment. The City Council will need to determine if they want to accept this park and provide a park dedication per city code. If the city does accept this space it should be platted as an outlot.

Streets

The main access to the development is from 7th Ave NE with one way in and one way out. The fire code requires that single family development with more than 30 units shall provide two separate and approved fire apparatus access roads. In addition, dead-end fire apparatus access roads in excess of 150 feet in length shall provide an approved area for turn arounds. A second access should be added, a suggestion is to create an additional access off 8th street and connect to the proposed cul-de-sac. This could be part of the phasing plan; the second access should be added once 80 lots are platted. The proposed streets are public and are subject to city code requirements.

Staff Recommendation:

Staff recommends approval of the Preliminary Plat with several conditions. The Planning Commission should discuss the following and make recommendation to the City Council:

1. The tree removal and replacement plan: whether or not the plantings can count towards landscape requirements.
2. Accepting the 3.61-acre park with credit towards dedication.
3. Access

Conditions of approval:

1. All comments and concerns in the City Engineers memo dated January 13, 2021 should be met.

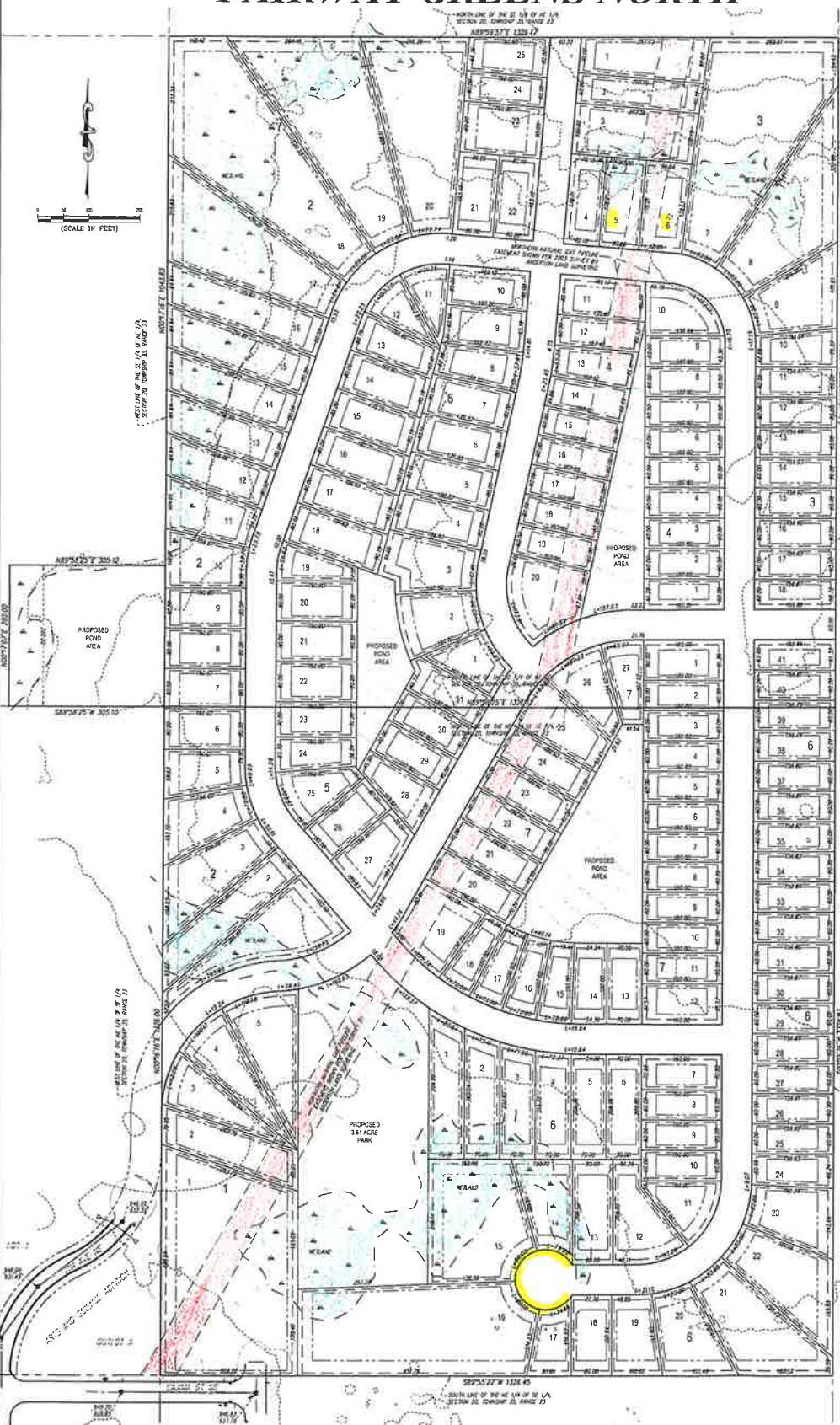
2. All comments and conditions of the Fire Chiefs memo dated January 14, 2021 should be met.
3. Minimum lot size shall be 9,600 square feet.
4. Setbacks for the principal structure shall be as follows: Front 30' Side 8' Rear 20'
5. Clarification on the lots along the golf course and what those setbacks will be.
6. A phasing plan shall be submitted.
7. Final Plat be submitted and approved
8. The developer must enter into a Development Agreement with the City of Isanti, which will outline the general terms for the remainder of the development. Subsequent developments will require additional Development Agreements as the property is built out. Development fees will be charged to the developer at the time of each development agreement and based upon the City Fee Schedule.
9. The developer shall be responsible for any and all permits and approvals that may be necessary from other applicable governmental agencies. These permits and approvals shall be submitted to the City of Isanti and/or other governmental jurisdictions that may require said permits prior to development.
10. Any and all costs associated with the recording and processing of each subsequent Final Plat for additional phases shall be assumed by the developer.
11. The developer, at their cost must install sidewalks consistent with City Codes and Ordinances.
12. Any conditions added by the Planning Commission

Attachments:

- Preliminary Plat
- Tree removal and Planting Plan
- City Engineer Memo
- Fire Chief Memo

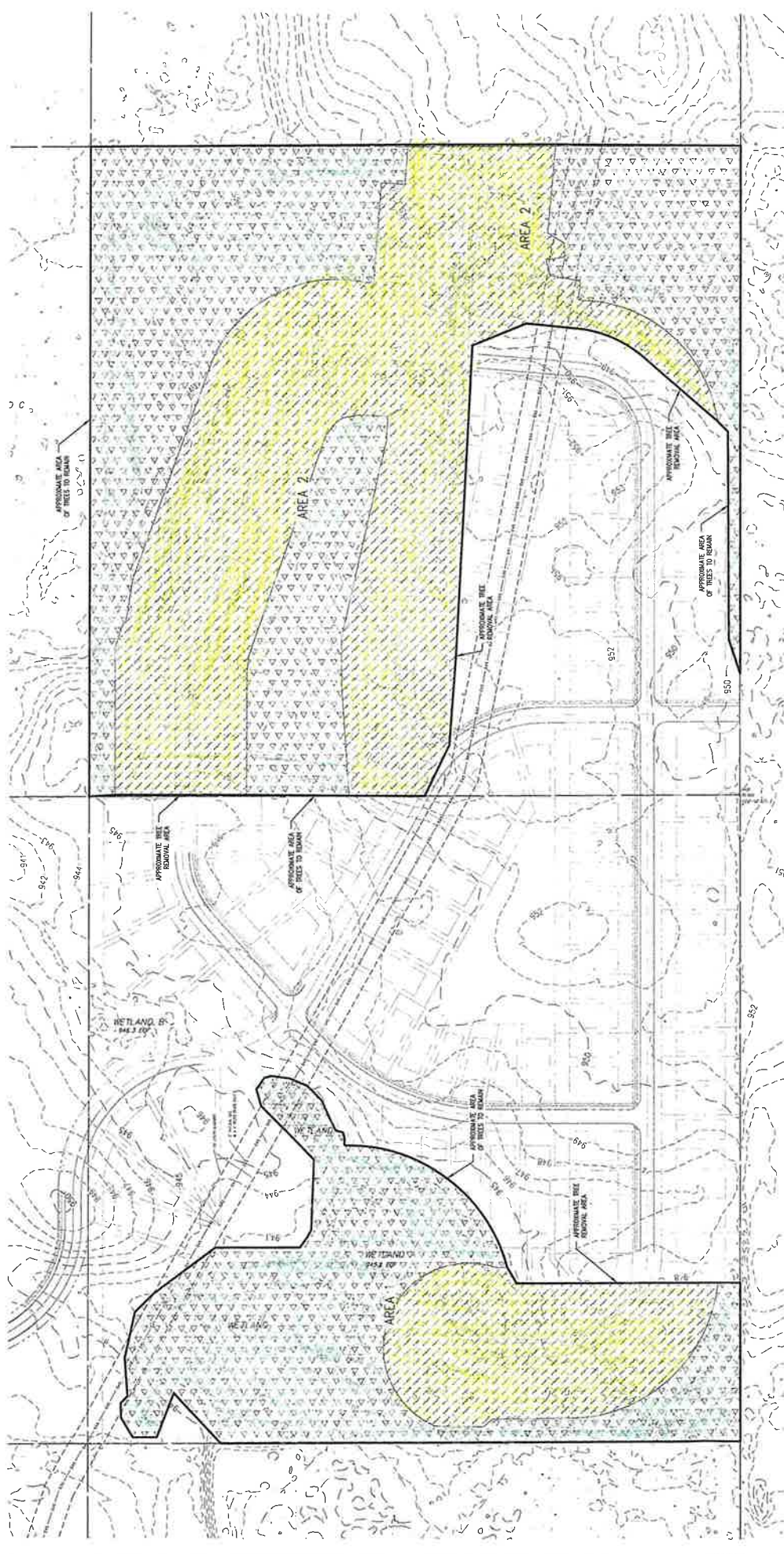
Preliminary Plat of FAIRWAY GREENS NORTH

CITY OF ISANTI
SEC. 1, T. 35, R. 23



LOT AREAS

Block	Lot Area	Max Lot Coverage	Block	Lot Area	Max Lot Coverage
Block 1	Lot 1 110,095.1	22,019.1	Lot 16 14,675.1	4,493.1	
	Lot 2 21,550.1	6,454.1	Lot 17 19,311.1	5,574.1	
	Lot 3 36,182.1	4,854.1	Lot 18 18,545.1	4,655.1	
	Lot 4 19,995.1	5,301.1	Lot 19 5,523.1	2,533.1	
	Lot 5 21,821.1	8,571.1	Lot 20 28,806.1	3,816.1	
Block 2	Lot 6 21,992.1	7,518.1	Lot 21 11,800.1	3,840.1	
	Lot 7 21,154.1	5,806.1	Lot 22 11,706.1	3,340.1	
	Lot 8 22,026.1	6,221.1	Lot 23 10,111.1	3,031.1	
	Lot 9 16,225.1	5,068.1	Lot 24 10,484.1	3,207.1	
	Lot 10 12,561.1	4,671.1	Lot 25 11,490.1	3,840.1	
	Lot 11 12,709.1	3,850.1	Lot 26 15,740.1	4,723.1	
	Lot 12 12,800.1	3,840.1	Lot 27 11,010.1	3,519.1	
	Lot 13 12,300.1	3,840.1	Lot 28 11,700.1	3,360.1	
	Lot 14 12,800.1	3,840.1	Lot 29 11,700.1	3,360.1	
	Lot 15 12,800.1	3,840.1	Lot 30 11,700.1	3,360.1	
	Lot 16 12,800.1	3,840.1	Lot 31 11,700.1	3,360.1	
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	Lot 24 12,800.1	3,840.1			
	Lot 25 12,800.1	3,840.1			
	Lot 26 12,800.1	3,840.1			
	Lot 27 12,800.1	3,840.1			
	Lot 28 12,800.1	3,840.1			
	Lot 29 12,800.1	3,840.1			
	Lot 30 12,800.1	3,840.1			
	Lot 31 12,800.1	3,840.1			
Block 3	Lot 32 20,375.1	6,138.1	Lot 33 81,591.1	15,315.1	
	Lot 34 18,954.1	4,812.1	Lot 34 18,954.1	3,840.1	
	Lot 35 22,427.1	6,107.1	Lot 35 22,427.1	3,840.1	
	Lot 36 13,490.1	3,100.1	Lot 36 13,490.1	3,100.1	
	Lot 37 14,317.1	4,379.1	Lot 37 14,317.1	6,107.1	
	Lot 38 11,822.1	3,575.1	Lot 38 11,822.1	3,100.1	
	Lot 39 4,562.1	1,693.1	Lot 39 4,562.1	1,144.1	
	Lot 40 41,153.1	9,011.1	Lot 40 41,153.1	5,845.1	
	Lot 41 21,023.1	5,764.1	Lot 41 21,023.1	3,031.1	
	Lot 42 10,839.1	3,572.1	Lot 42 10,839.1	2,879.1	
	Lot 43 5,971.1	2,800.1	Lot 43 5,971.1	2,879.1	
	Lot 44 5,151.1	2,850.1	Lot 44 5,151.1	2,879.1	
	Lot 45 5,151.1	2,879.1	Lot 45 5,151.1	2,879.1	
	Lot 46 5,151.1	2,879.1	Lot 46 5,151.1	2,879.1	
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	Lot 155 5,151.1	2,879.1	Lot 155 5,151.1	2,879.1	
	Lot 156 5,151.1	2,879.1	Lot		

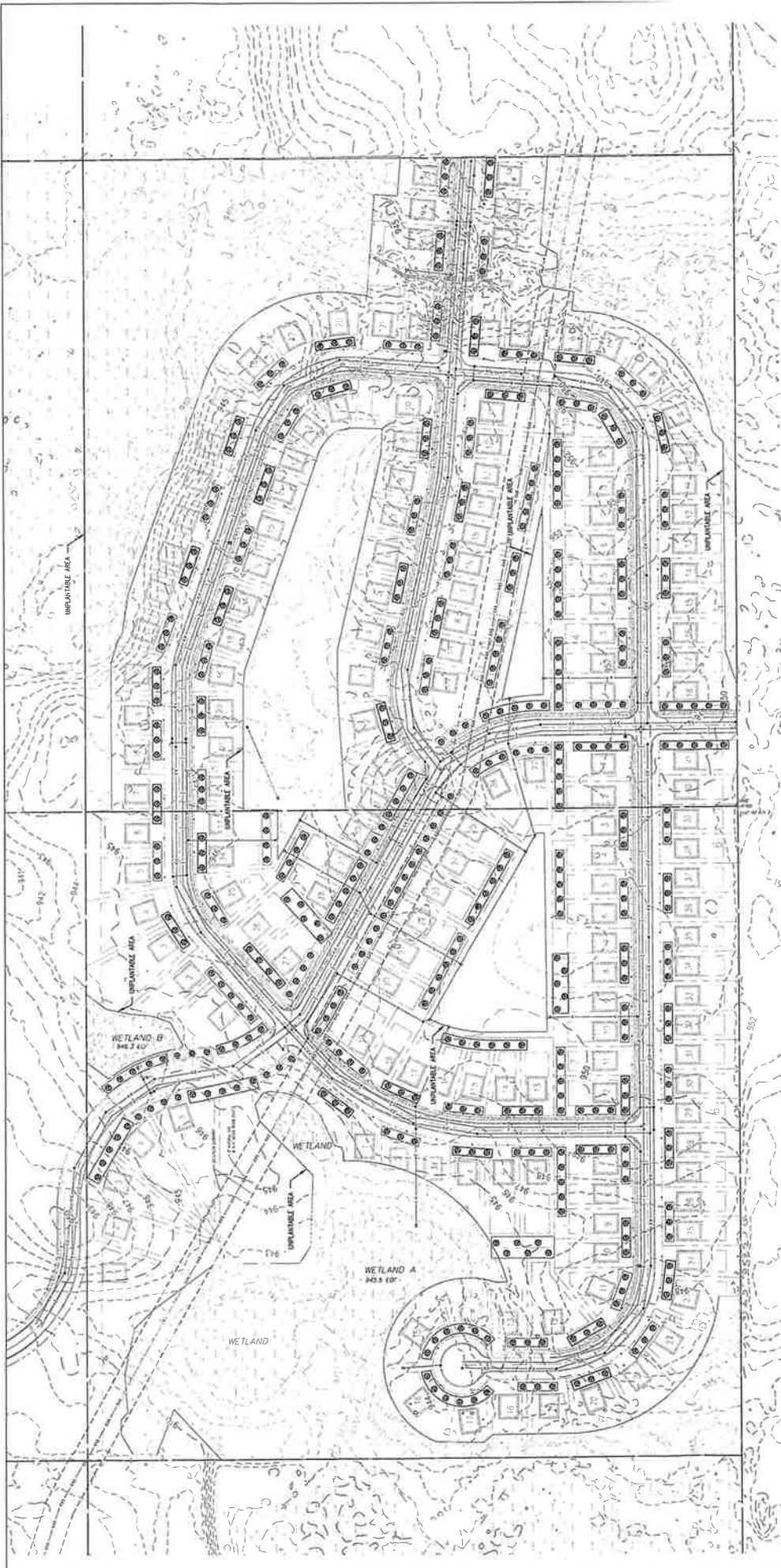


LEGEND

- AREA OF TREE REMOVAL
- AREA OF TREES TO REMAIN

TREE REMOVAL TOTALS		
AREA	TREE REMOVAL (AC)	TREES TO REMAIN (AC)
AREA 1	2.94	8.00
AREA 2	14.83	13.84
TOTAL	18.77	21.84

CLIENT: HOMEPRIDE, INC. 1500 211th Ave NW Oak Grove, MN 55011	COMPANY: PERFORMANCE DRIVEN DESIGN Landscape Architecture 770 Hennepin Ave, Ste 202 Minneapolis, MN 55412-1335	PROJECT #: 200645	TREE PRESERVATION EXHIBIT FAIRWAY GREENS NORTH
MO. DATE: 05/08/2024	CHECK BY: DRAWN BY:	VERIFY CERTIFY that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Landscape Architect under the laws of the State of Minnesota.	SHEET EX. 1 OAK GROVE, MN



SHEET NOTES

1. **WETLAND A** (AREA NOT IN WETLAND) - 445.5 (0)
WETLAND B (AREA NOT IN WETLAND) - 348.7 (0)
 2. **IMPLANTABLE AREAS** (AREA NOT IN WETLAND) - 458.6 (0) - 453 TREES PROVIDED (TREES=453)
 TREE LOCATIONS ARE APPROXIMATE. TREES MAY BE ADJUSTED BY THE DEVELOPER TO AVOID DRIVEWAYS OR OTHER SIMILAR BUILDING ELEVATIONS.

LEADER	SYMBOL	SPACING	TREE COUNT	PERCENT TOTAL
1	2 1/2" OAL	30' O.C.	71	15.7%
2	2 1/2" OAL	30' O.C.	35	8.1%
3	2 1/2" OAL	30' O.C.	132	28.1%
4	2 1/2" OAL	30' O.C.	124	27.4%
5	2 1/2" OAL	30' O.C.	50	11.0%
6	2 1/2" OAL	30' O.C.	40	8.8%

CLIENT: HOMEPRIDE, INC.
 1500 21th Ave NW
 Oak Grove, MN 55011

PERFORMANCE DRIVEN DESIGN.
 UtiCorp.com
 771 Wisconsin Ave. R. Ste 200 | Woodstock, IL 60093 | Tel: 630.202.2022

ARCHITECT: ALBERTS ASSOCIATES, INC.
 1111 Hennepin Avenue, Suite 1000
 Minneapolis, MN 55402

DATE: 07/20/2022

PROJECT #: 200645

FAIRWAY GREENS NORTH

TREE PRESERVATION EXHIBIT

SHEET: EK.2

LOCATION: OAK GROVE, MN

HECKER CERTIFY that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Landscape Architect under the laws of the State of Minnesota.

HECKER: [Signature]



Real People. Real Solutions.

7533 Sunwood Drive NW
Suite 206
Ramsey, MN 55303-5119

Ph: (763) 433-2851
Fax: (763) 427-0833
Bolton-Menk.com

MEMORANDUM

Date: January 13, 2021
To: Sheila Sellman, Community Development Director
From: Jason W Cook, P.E.
City Engineer
Subject: Fairway Greens North - Preliminary Plat Review
City of Isanti, MN
Project No.: 0R1.123130

We have reviewed the Preliminary Plat and supporting documents entitled "Fairway Greens North" with a revision date of January 8, 2021.

The preliminary plat includes the construction of 167 single family lots, extension of city streets and utilities and site and storm water pond grading.

Also submitted was a stormwater management plan dated December 18, 2020.

We have reviewed the submitted documents and have the following comments:

Preliminary Plat:

1. Show wider drainage & utility easements where pond grading, swales, and storm pipes extend outside currently shown easements.
2. Add access easement to ponds for future maintenance.
3. Add secondary road access branching off 8th Avenue NE connecting to proposed cul-de-sac. Make curve as large as possible coming off 8th Avenue.
 - a. It appears additional lots could be added along the south side of the development if the road is connected turning Block 6 Lot 16 into 5 lots.
 - b. This secondary access will be required once 80 lots are platted.
4. What is the intent with the square 2-acre box on the west side of the plat? This does not appear to be used for storm water per the plan. Will this be an outlot? Should it be removed from the plat?

Stormwater Management Plan:

5. Existing subcatchment areas are not defined by property lines. Include off site runoff draining onto the site. This cannot be blocked off and must be included in the modeling.
6. Model the existing wetland for 100-year high water elevation and show the proposed culverts will not restrict this flow and affect bounce elevation or drain the existing wetlands.
7. Verify ground water will be over 3-feet below the bottom of all proposed infiltration basins. Provide geotechnical report showing this and have percolation tests completed to determine infiltration rate. Revise model as needed.
8. Provide existing and proposed discharge rates at each discharge point on the site, not as one total runoff rate.



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9. The West Pond needs to treat its individual required Water Quality Volume. It appears there is significantly more room in the outlot than is being used for this pond. It also appears a proposed swale is not within the proposed easements and outlot area.
10. Subcatchments for each CB needs to be determined and spread calculations submitted.
11. CB-02 will require a saffle baffle type structure at a minimum. All other locations that discharge directly to wetland also require treatment structure, and equivalent treatment area oversized in other ponds.
12. Submit pipe sizing calculations for all storm pipes.

Wetland Delineation Report:

13. Submit proposed wetland mitigation report to City, LGU and possibly the Corps of Engineers for review and approval prior to performing any excavations in the identified areas.

Geotechnical Evaluation:

14. A geotechnical report will be required to verify all unsuitable materials are removed from proposed street improvement areas.

Site Development:

15. Submit a proposed Phasing Plan.
16. Show proposed building Low opening is 2 feet above the 100-year event and 1 foot above the emergency overflow in each sub catchment area.
17. Vertical curve lengths shall be 90' minimum (30 mph minimum design).
18. Sewer & water services shall be placed approx. 5-10 feet from property corners, not center of lots.
19. Show emergency overflow locations and stabilization for all pond EOFs.
20. Revised swale and location of CBMH-64 to fit within easements or outlots.
21. Label existing contours.
22. Verify all grading over existing gas main will maintain required cover. For example, there appears to be a 5-foot cut over the gas line in block 4.
23. All storm pipe withing ROW shall be RCP.
24. Low points shown at the back of multiple building pads. Back yards need to have positive drainage away from building pads and no trapped water. (ex Block 6 Lot 41 and Block 3Lot 18.)
25. Sanitary sewer main should not be under 6 feet deep. Any sewer 6-feet to 8-feet deep should be insulated. Verify all 4-inch services can be installed at 1% minimum grade and still service all proposed building elevations.
26. Watermain shall be 7.5-feet deep at a minimum and will need to be extra depth where sanitary services are shallow.



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27. Watermain will need to be looped to 8th Avenue along with the road looping discussed in the above preliminary plat section.
28. Are the road widths labeled at Face to Face or Back to Back?
29. Submit horizontal curve tables showing design speed.
30. Show all sidewalk at a minimum of 1' from ROW edge. Some intersections appear to need chamfered corners at pedramps.
31. The pavement section shall be determined by the geotechnical report, but at a minimum:
 - a. 1.5-inches of bituminous wear course
 - b. 2-inches of bituminous non-wear course
 - c. 8-inches of aggregate base class 5
32. Show street lighting plan.

We recommend approval of the preliminary plat once the above items are addressed.

Please contact me if you have any questions.

January 14, 2021

City of Isanti
DRM Committee Sheila Sellman



FAIRWAY GREENS NORTH PLAN REVIEW

Isanti Fire District reviewed the proposed design of Fairway Greens North, in the City of Isanti. Any concerns are listed below with applicable Minnesota State Fire Code (MSFC) references.

- 1) Fire apparatus access is currently limited to one street.
 - a. **D107.1 One- or two-family dwelling residential developments.**
Developments of one- or two-family dwellings where the number of dwelling units exceeds 30 shall be provided with two separate and approved fire apparatus access roads, and shall meet the requirements of Section D104.3.
 - b. **D104.3 Remoteness.**
Where two fire apparatus access roads are required, they shall be placed a distance apart equal to not less than one half of the length of the maximum overall diagonal dimension of the lot or area to be served, measured in a straight line between accesses.
- 2) Dead end roads do not have ample cul-de-sac.
 - a. **503.2.5 Dead ends.**
Dead-end fire apparatus access roads in excess of 150 feet (45 720 mm) in length shall be provided with an *approved* area for turning around fire apparatus.

Thank you for your attention to these life safety concerns.

Alan Jankovich | Fire Chief
Isanti Fire District

4.B.



MEMORANDUM

TO: Planning Commission

FROM: Sheila Sellman, Community Development Director

DATE: January 19, 2021

SUBJECT: Request by the City of Isanti for a Preliminary and Final Subdivision to combine the current UPS parcel, PID 16.053.0151, with a city-owned vacant parcels to the east located at PID 16.029.1400 and 16.020.0803

UPS has requested to put this action on hold. This will be removed at the beginning of the agenda during agenda modifications since the notices were sent out already.



MEMORANDUM

TO: Planning Commission

FROM: Sheila Sellman, Community Development Director

DATE: January 19, 2021

SUBJECT: Request by the City of Isanti for a Preliminary and Final Subdivision to subdivide PID 16.124.0020 into three five-acre lots

Request: Request by the City of Isanti for a Preliminary and Final Subdivision to subdivide 15 acres of a shovel ready site (PID 16.124.0020) into three five-acre lots.

Overview/Background: The City has entered into a purchase agreement with LTL, LLC to sell them two 5-acre lots from the shovel ready program. Currently the subject lot is 15 acres, once the subdivision occurs it will be split into three 5-acre parcels. LTL, LLC will be buying the northern two lots and the City will retain the southern lot for sale.

This parcel has multiple city ditches and an access to the city water tower. The access to the water tower did not have proper documentation therefore we created an outlot for this access.

As proposed all the lots meeting minimum standards in the Industrial Park.

Staff Recommendation:
Staff recommends approval

Attachment:

- City Engineer Memo
- Preliminary and Final Plat



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7533 Sunwood Drive NW
Suite 206
Ramsey, MN 55303-5119

Ph: (763) 433-2851
Fax: (763) 427-0833
Bolton-Menk.com

MEMORANDUM

Date: January 13, 2021
To: Sheila Sellman, Community Development Director
From: Jason W Cook, P.E.
City Engineer
Subject: Isanti Centennial Complex 7th Rearrangement - Plat Review
City of Isanti, MN
Project No.: 0R1.123322

We have reviewed the Preliminary and Final Plat and supporting documents entitled "Isanti Centennial Complex 7th Rearrangement" with a date of January 13, 2021.

The plat includes the subdivision of the 15.49 acre parcel owned by the EDA into 3 equal 5.01 acre lots and an Outlot.

The existing site has previously completed the "Shovel Ready" approval process where it went under rigorous reviews to determine these are buildable sites.

The 15.49 acre site has multiple City ditches and an access to the City water tower site on it. Some of these ditches were not in drainage and utility easements so new easements were written to cover the existing ditch system. The driveway to the water tower did not have a properly documented access so an Outlot was created to cover the water tower driveway and the utilities that are in it.

We recommend approval of the preliminary and final plats as submitted.

Please contact me if you have any questions.

ISANTI CENTENNIAL COMPLEX 7TH REARRANGEMENT

KNOW ALL PERSONS BY THESE PRESENTS That the City of Isanti Economic Development Authority, a public body corporate under the laws of the State of Minnesota, the owner of the following described property:

Quilba A. ISANTI CENTENNIAL COMPLEX 7TH REARRANGEMENT, according to the plat thereof on file and of record in the Office of the County Recorder, Isanti County, Minnesota

Has caused the same to be surveyed and plotted as ISANTI CENTENNIAL COMPLEX 7TH REARRANGEMENT and do hereby declare as the public for public use the following described property:

Quilba A. ISANTI CENTENNIAL COMPLEX 7TH REARRANGEMENT, according to the plat thereof on file and of record in the Office of the County Recorder, Isanti County, Minnesota, having caused the same to be surveyed and plotted as ISANTI CENTENNIAL COMPLEX 7TH REARRANGEMENT, and is in compliance with the provisions of Chapter 505.01, Minnesota Statutes.

CITY OF ISANTI ECONOMIC DEVELOPMENT AUTHORITY

Tell Johnson, President of the City of Isanti Economic Development Authority

Shari Setzman, Secretary of the City of Isanti Economic Development Authority

STATE OF MINNESOTA

COUNTY OF _____

This instrument was acknowledged before me this _____ day of _____, 20____, by Tell Johnson, President and Shari Setzman, Secretary of the City of Isanti Economic Development Authority, on behalf of the City of Isanti Economic Development Authority

Notary Public, _____ County, Minnesota

My Commission Expires _____

I, Andrew Hill do hereby certify that this plat was prepared by me or under my direct supervision, that I am a duly licensed Land Surveyor in the State of Minnesota, that this plat is a correct representation of the boundaries and area of the above described property, that the water boundaries and wet lands, as defined in Minnesota Statutes, Section 505.01, Subd. 3, as of the date of this certificate are shown and labeled on this plat, and all public ways are shown and labeled on this plat.

Dated this _____ day of _____, 20____

Andrew Hill, Licensed Land Surveyor

Minnesota License No. 37051

STATE OF MINNESOTA

COUNTY OF _____

This instrument was acknowledged before me this _____ day of _____, 20____, by Andrew Hill

Notary Public, _____ County, Minnesota

My Commission Expires _____

CITY PLANNING COMMISSION, CITY OF ISANTI, MINNESOTA

Recommended for approval by the Planning Commission of City of Isanti, Minnesota, this _____ day of _____, 20____

Tell Johnson, Chairperson

Notary Public, Secretary

CITY COUNCIL, CITY OF ISANTI, MINNESOTA

Approved by the City Council of Isanti, Minnesota, this _____ day of _____, 20____, and is in compliance with the provisions of Chapter 505.01, Minnesota Statutes.

Tell Johnson, Mayor

Joni Wood, City Administrator

COUNTY RECORDER, ISANTI COUNTY, MINNESOTA

I hereby certify that this plat has been checked and recommended for approval as to compliance with Chapter 505, Minnesota Statutes this _____ day of _____, 20____

Isanti County Surveyor, Winn License No. _____

CITY ENGINEER, CITY OF ISANTI, MINNESOTA

This plat was recommended for approval this _____ day of _____, 20____

City of Isanti Engineer

CITY ATTORNEY, CITY OF ISANTI, MINNESOTA

This plat was approved as to form and content this _____ day of _____, 20____

City of Isanti Attorney

COUNTY AUDITOR/TREASURER, ISANTI COUNTY, MINNESOTA

I hereby certify that the taxes for the year _____ on the property described herein have been paid and that there are no delinquent taxes and penalties entered on, this _____ day of _____, 20____

Isanti County Auditor - Treasurer

By _____ Deputy

COUNTY RECORDER, ISANTI COUNTY, MINNESOTA

I hereby certify that this instrument was filed in the Office of the County Recorder for record on this _____ day of _____, 20____, at _____ o'clock _____ M., and was duly recorded in the Isanti County Record Book No. _____ Document No. _____

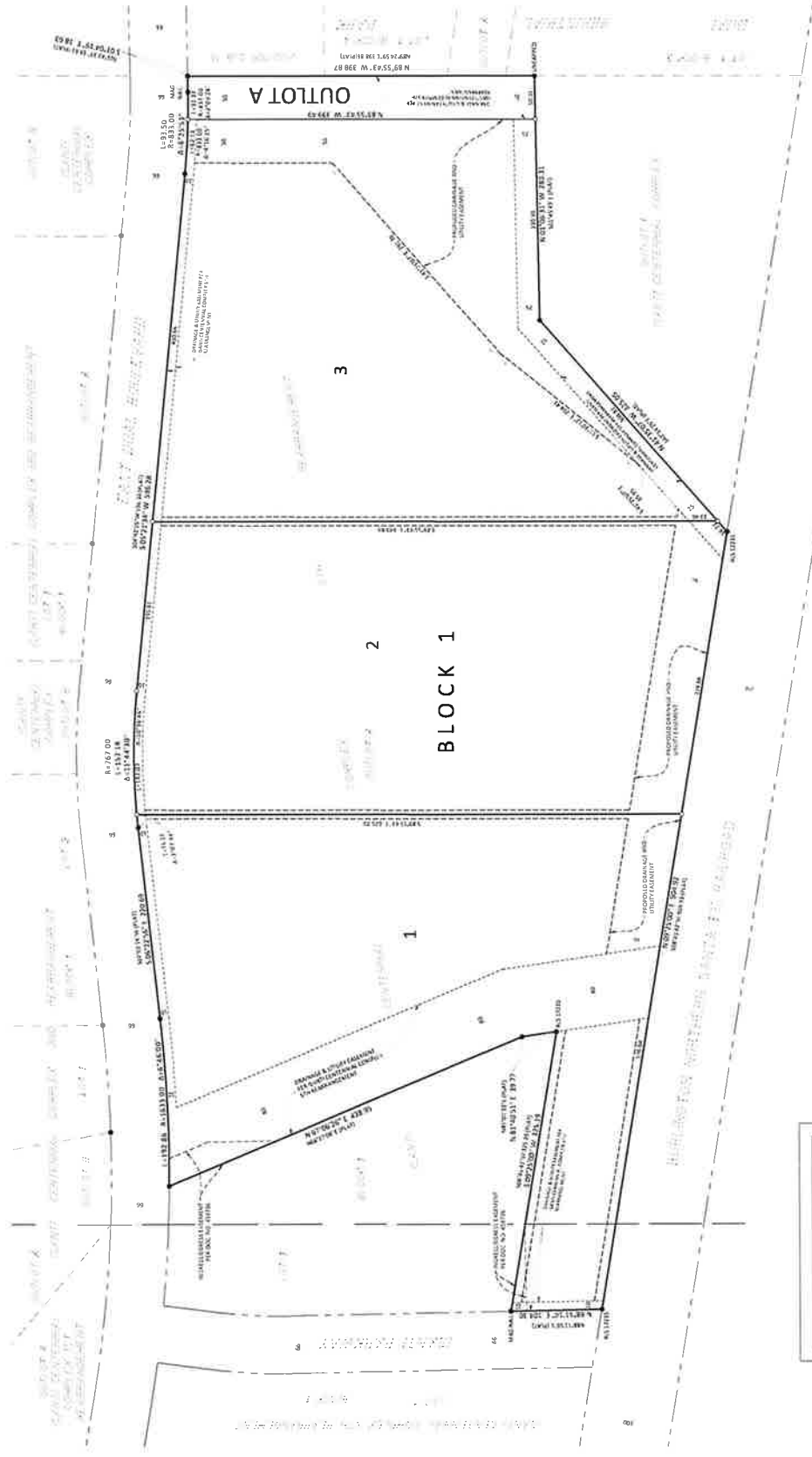
Isanti County Recorder



OFFICIAL PLAT COPY

ISANTI CENTENNIAL COMPLEX 7TH REARRANGEMENT

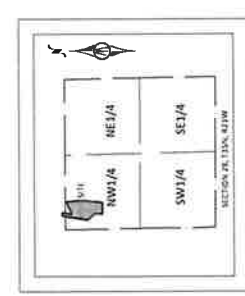
SECTION 29, TWP. 35, RGE. 23
CITY OF ISANTI
ISANTI COUNTY, MINNESOTA



LEGEND

- BOUNDARY POINTS
- MONUMENTS
- MONUMENTS WITH A METEORIC CAP
- MONUMENTS WITH A METEORIC CAP AND A METEORIC CAP
- MONUMENTS WITH A METEORIC CAP AND A METEORIC CAP AND A METEORIC CAP
- MONUMENTS WITH A METEORIC CAP AND A METEORIC CAP AND A METEORIC CAP AND A METEORIC CAP

BEARINGS AND DISTANCES IN PARALLELS ARE FROM THE MERIDIAN OF THE CENTRAL COMMERCE SYSTEM.



SHEET 1 OF 3 SHEETS



**CITY OF ISANTI
SPECIAL PLANNING COMMISSION MEETING
TUESDAY, March 2, 2021
7:30pm or immediately after the 7pm City Council Meeting
CITY HALL**

Seating may be limited. If you would like to send in a comment for a Public Hearing to be read on your behalf, please submit to the Community Development Director ssellman@cityofisanti.us or (763) 762-5761.

1. Meeting Opening

- A. Call to Order
- B. Pledge of Allegiance
- C. Roll Call
- D. Agenda Modifications
- E. Adopt Agenda

2. Public Hearing

- A. Request by the City of Isanti for approval of a Site Plan as required under City Ordinance 445, Sect. 18. Said request is for a municipal liquor store located at 10 6th Ave SE PID 16.029.2100.

3. Adjournment



MEMORANDUM

TO: Planning Commission

FROM: Sheila Sellman, Community Development Director

DATE: March 2, 2021

SUBJECT: Site Plan Review – Municipal Liquor Store

Request: The City of Isanti is seeking site plan approval for a new municipal liquor store.

Overview/Background: The City owns property located at 10 6th Ave and proposes to build a new liquor store on that site. The site is zoned B-2, General Business District, retail is a permitted use. The site plan includes a 12,710 Square foot building with parking, landscaping, photometrics, and building elevations.

Analysis of Application: The site plan for the liquor store will be following the requirements for the B-2, General Business District.

Purpose

“This district is designed and intended to promote the development of commercial uses which are predominantly auto-oriented in nature. The district caters to highway-oriented businesses as well as to businesses that provide basic shopping and service needs to the community. When designing a commercial site within the General Business District, compatibility with adjacent uses and buildings is required within the district, as site design, building size and materials, and screening / landscaping are important when creating and maintaining a thriving commercial base”.

Setbacks

The following minimum requirements shall be observed in the General Business District; subject to additional requirements, exceptions, and modifications as set forth within this Ordinance:

Setbacks and Height Restrictions – Principal Building.

Minimum Front Yard Setback	30 feet
Minimum Side Yard Setback	15 feet
Minimum Street Side Yard Setback	20 feet
Minimum Rear Yard Setback	15 feet

Maximum Building Height Three (3) stories or forty-five (45) feet, whichever is less.

As proposed the building meets or exceeds the minimum setback requirements.

Exterior Building Materials

The exterior wall finishes on any building shall be comprised of one or more of the following materials:

1. Face brick.
2. Natural stone.
3. Glass.
4. Decorative concrete block as approved by the City Council.
5. Specifically designed pre-cast concrete units; if the surfaces have been integrally treated with an applied decorative material or texture.
6. Masonry stucco.
7. Other comparable or superior material as recommended by the Planning Commission and approved by the City Council.

The building is comprised of LP Smart Siding -Lap Siding, LP Smart Siding- Stucco Panel, Architectural block, Brick, Rock Face CMU, Composite Deck Board, and a standing seam metal roof. The building has combined materials to make a visually pleasing design. Two or more of the materials have been used that are required and other comparable materials are also used.

Parking and Driveways

Parking lots and drive aisles shall be setback a minimum of 10 feet from front, rear, and side yards. *As proposed the site plan meets this requirement.* Retail uses require a minimum of one parking space per 250 square feet of gross floor area. *The building is 12,710 square feet when removing storage and delivery areas, the floor area used to determine parking is 10,430 square feet; which requires 41 parking spaces. The site plan provides 26 regular parking stalls, 6 drive up stalls and 12 trailer parking stalls for a total of 44 parking stalls, 3 of which are accessible.*

Mechanical Equipment

Mechanical equipment shall be screened from the public right-of-way and from adjacent residential properties. Screening shall be compatible with the principal building. *Mechanical equipment will be on the east side of the building (back side) it will be screened from the public right-of-way. The property to the east is not developed but a fence along that side of the building will act as screening.*

Trash Dumpsters and Garbage Receptacles Required

Trash dumpsters and garbage receptacles shall be screened from all lot lines and public roadways. The screening devices shall be designed so that they are architecturally harmonious with the principal structures on the site. *The proposed trash enclosure matches the building and will be built with the same materials.*

Lighting

All uses shall comply with the following standards except as otherwise provided in this section:

1. Lighting fixtures shall be effectively shielded and arranged so as not to shine directly on any residential property. Lighting fixtures not of a cutoff type shall be subject to the following:
 - a. Maximum initial lumens generated by each fixture shall not exceed two thousand (2,000) lumens (equivalent to a one hundred fifty (150) watt incandescent bulb).
 - b. Mounting heights of such fixtures shall not exceed fifteen (15) feet.
2. Lighting shall not create a sensation of brightness that is substantially greater than ambient lighting conditions so as to create annoyance, discomfort, or decreased visual performance or visibility.
3. Lighting shall not directly or indirectly cause illumination or glare in excess of one-half (1/2) foot candle measured at the closest residential property line and five (5) foot-candles measured at the street curb line or non-residential property line nearest the light source.
4. Lighting shall not create a hazard for vehicular or pedestrian traffic.
5. Lighting of building facades or roofs shall be located, aimed, and shielded so that light is directed only onto the façade or roof.
6. Lighting shall be maintained stationary and constant in intensity and color, and not be of a flashing, moving, or intermittent type.
7. Business and industrial zoned property must light the trash enclosure areas for the safety of their employees.

The proposed lighting plan meets these requirements.

Landscape Requirements

All properties shall provide one tree per 5- feet of lot frontage. *The landscape plan provides 6 trees meeting the minimum planting size. The trees consist of three different species of shade trees.*

Sprinkler systems shall be provided as part of each new development for all landscaped areas, except those areas on the property that will be preserved in their natural state. *This requirement is met.*

All open areas of a lot which are not used or improved for required building areas, parking areas, building expansion areas, drives, sidewalks, storage, or similar hard surface materials shall be landscaped with a combination of sod, overstory trees, understory trees, shrubs, flowers, ground cover materials and/or other similar site design features or materials in a quantity acceptable to the City. *The landscape plan provides a mixture of trees, perennials, and ornamental grasses. Areas that are disturbed that are not landscaped will be either established lawn or maintained as natural areas.*

Staff Recommendation:

Staff recommends approval of the site plan with the following conditions:

1. Conditions in the City Engineer memo dated February 23, 2021 shall be met.

Attachments

- City Engineers Memo
- Site Plan

- Building Elevations
- Landscape Plan
- Photometrics
- Floor Plan



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& MENK**

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Fax: (763) 427-0833
Bolton-Menk.com

MEMORANDUM

Date: February 23, 2021
To: Sheila Sellman, Community Development Director
From: Jason W. Cook, P.E.
City Engineer
Subject: Liquor Store Site Plan - Engineering Review
City of Isanti, MN
Project No.: 0R1.123019

We have reviewed the Site Plan entitled "Isanti Liquor Store" received on February 23, 2021 with a signature date of 2/23/2021. We have also reviewed the storm water analysis documents submitted with the site plan.

The project includes the construction of a new liquor store building, parking lot and storm water infiltration basin. The site plan includes 48 single car parking stalls, 12 trailer parking stalls, storm water treatment, sewer and water service extensions, a loading ramp, and site grading.

We have reviewed the submitted documents and have the following comments:

Site Plan:

1. No comments.

Storm Water Analysis:

2. No comments.

Permits (To be completed prior to construction):

1. NPDES - Construction Storm Water General Permit
 - a. An erosion control permit will be needed prior to beginning construction.
2. Minnesota Department of Health - Watermain Extension Permit
 - a. A watermain extension permit will be needed prior to beginning construction.
3. MPCA – Sanitary Sewer Extension Permit
 - a. A sanitary sewer extension permit will be needed prior to beginning construction.

Permits shall be approved and in hand prior to beginning construction.

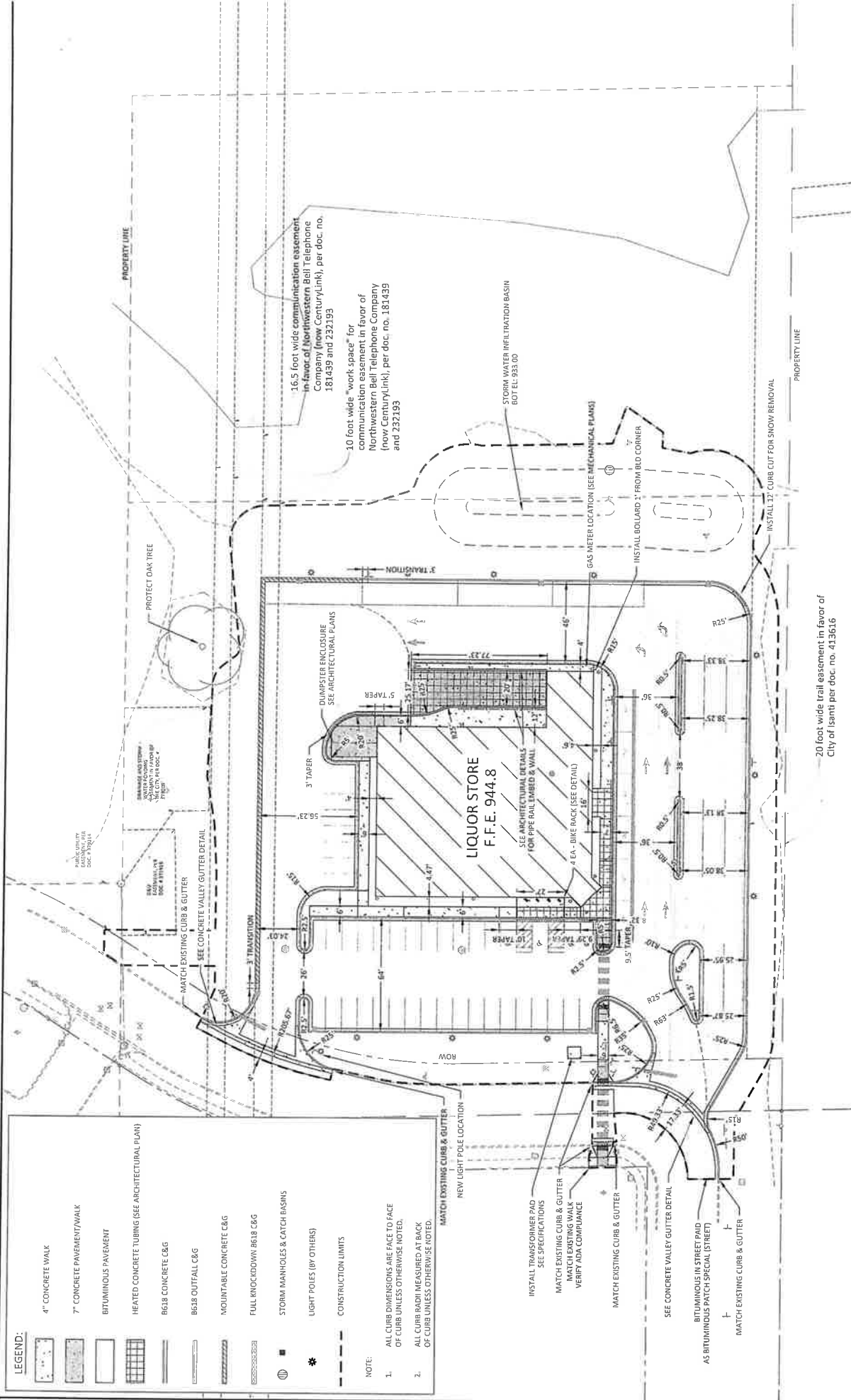
We recommend approval of the documents as submitted.

LEGEND:

- 4" CONCRETE WALK
- 7" CONCRETE PAVEMENT/WALK
- BITUMINOUS PAVEMENT
- HEATED CONCRETE TUBING (SEE ARCHITECTURAL PLAN)
- B618 CONCRETE C&G
- B618 OUTFALL C&G
- MOUNTABLE CONCRETE C&G
- FULL KNOCKDOWN B618 C&G
- STORM MANHOLES & CATCH BASINS
- LIGHT POLES (BY OTHERS)
- CONSTRUCTION LIMITS

NOTE:

1. ALL CURB DIMENSIONS ARE FACE TO FACE OF CURB UNLESS OTHERWISE NOTED.
2. ALL CURB RADII MEASURED AT BACK OF CURB UNLESS OTHERWISE NOTED.



20 foot wide trail easement in favor of
City of Isanti per doc. no. 413616



BOLTON & MENK
7531 UNIVERSITY AVENUE, SUITE 106
MINNETONKA, MINNESOTA 55345
Phone: (763) 432-2651
Email: info@bolton-menk.com
www.bolton-menk.com

DATE: 03/27/2021
DRAWN BY: W. COOPER
CHECKED BY: J. COOPER
PROJECT NO.: 22-11



DATE	REVISION	DESCRIPTION

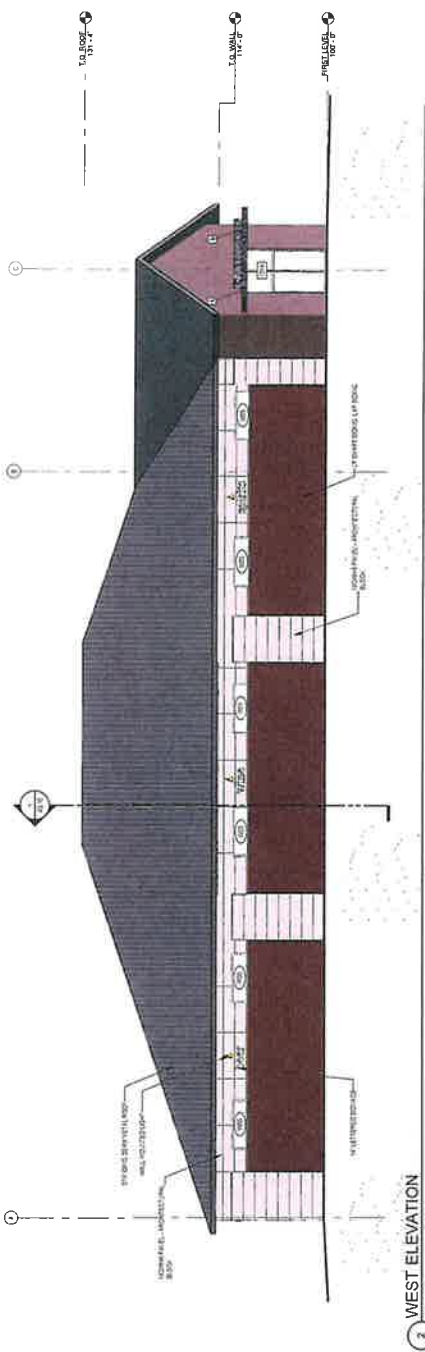
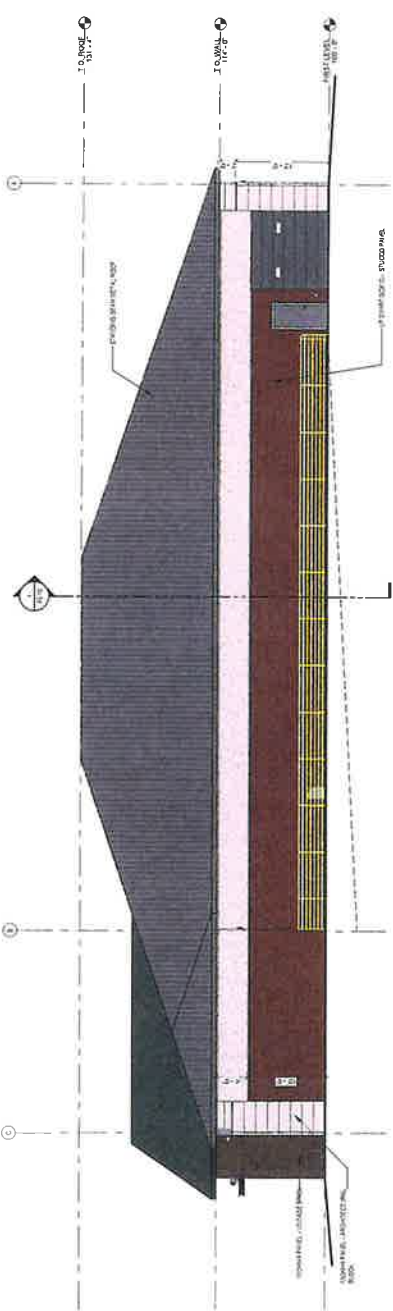
ISANTI MUNICIPAL LIQUOR STORE
CITY OF ISANTI 10 6TH AVE SE
ISANTI, MN 55040

PROJECT: ISANTI LIQUOR STORE
SHEET: LER 001A
DATE: 10/15/2019
DRAWN BY: J. H. WIDSETH
CHECKED BY: J. H. WIDSETH
SCALE: AS SHOWN
JOB NUMBER: 2019-001A

NOT FOR CONSTRUCTION

44.20

- LP SMART SIDING - LAP SIDING - REDWOOD RED
- LP SMART SIDING - STUCCO PANEL - REDWOOD RED
- LP SMART SIDING - STUCCO PANEL - TERRA BROWN
- NICHIHA ARCHITECTURAL BLOCK - TUSCAN
- NICHIHA VINTAGE BRICK - ALEXANDRIA BUFF
- AMCON ROCK FACE CMU - HERSHEY
- STANDING SEAM METAL ROOF - BRONZE
- COMPOSITE DECK BOARD



PROJECT: SANTI MUNICIPAL LIQUOR STORE
 LOCATION: SANTI, MN 55040
 DATE: 08/20/2024
 DRAWING NO: 24-010

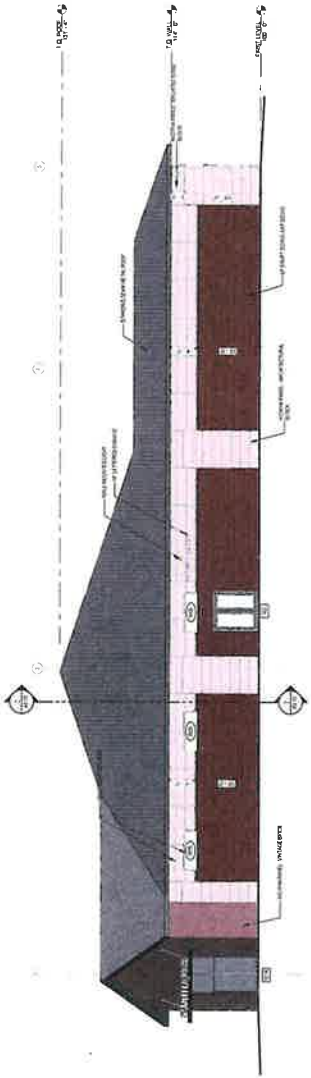
NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMITS	08/20/2024

NO.	DESCRIPTION	DATE
2	ISSUED FOR CONSTRUCTION	08/20/2024

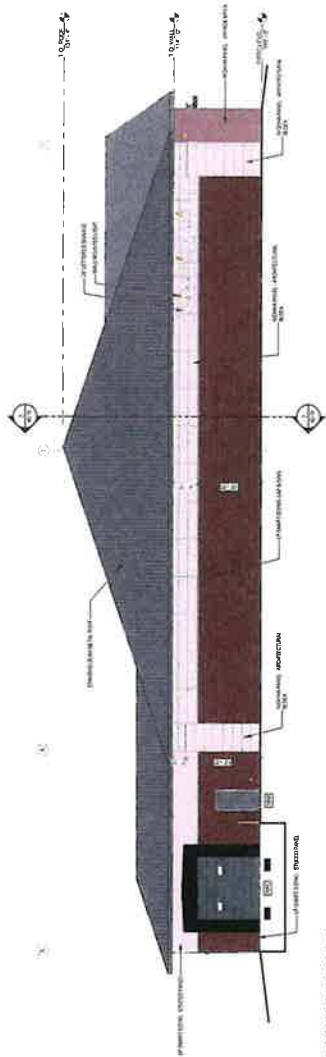
NOT FOR CONSTRUCTION
 SANTI MUNICIPAL LIQUOR STORE
 CITY OF SANTI 10 8TH AVE SE
 SANTI, MN 55040

44.10

- LP SMART SIDING - LAP SIDING - REDWOOD RED
- LP SMART SIDING - STUCCO PANEL - REDWOOD RED
- LP SMART SIDING - STUCCO PANEL - TERRA BROWN
- NICHIA ARCHITECTURAL BLOCK - TUSCAN
- NICHIA VINTAGE BRICK - ALEXANDRIA BUFF
- AMCON ROCK FACE CMU - HERSHEY
- STANDING SEAM METAL ROOF - BRONZE
- COMPOSITE DECK BOARD



1 SOUTH ELEVATION

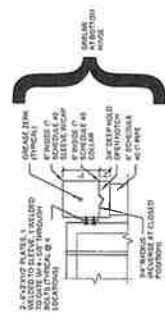


2 NORTH ELEVATION

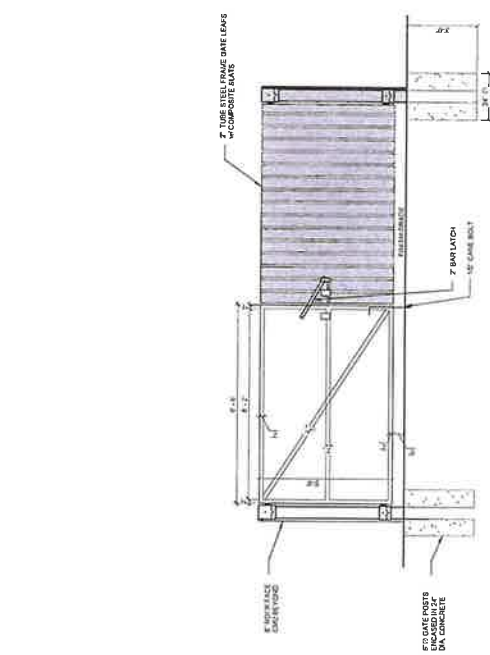
08/20/2024 10:00 AM

NOT FOR CONSTRUCTION

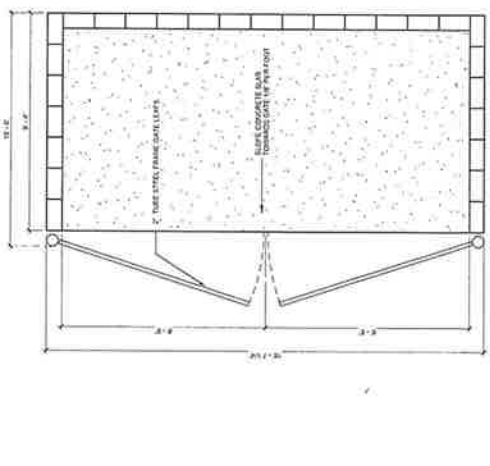
- LP SMART SIDING - LAP SIDING - REDWOOD RED
- LP SMART SIDING - STUCCO PANEL - REDWOOD RED
- LP SMART SIDING - STUCCO PANEL - TERRA BROWN
- NICHIHA ARCHITECTURAL BLOCK - TUSCAN
- NICHIHA VINTAGE BRICK - ALEXANDRIA BUFF
- AMCON ROCK FACE CMU - HERSHEY
- STANDING SEAM METAL ROOF - BRONZE
- COMPOSITE DECK BOARD



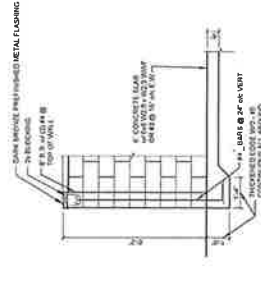
3 GATE HINGE DETAIL



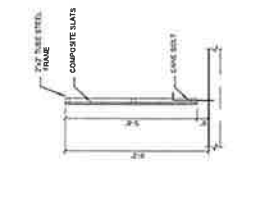
2 DUMPSTER ENCLOSURE ELEVATION VIEW



1 DUMPSTER ENCLOSURE



5 WALL SECTION



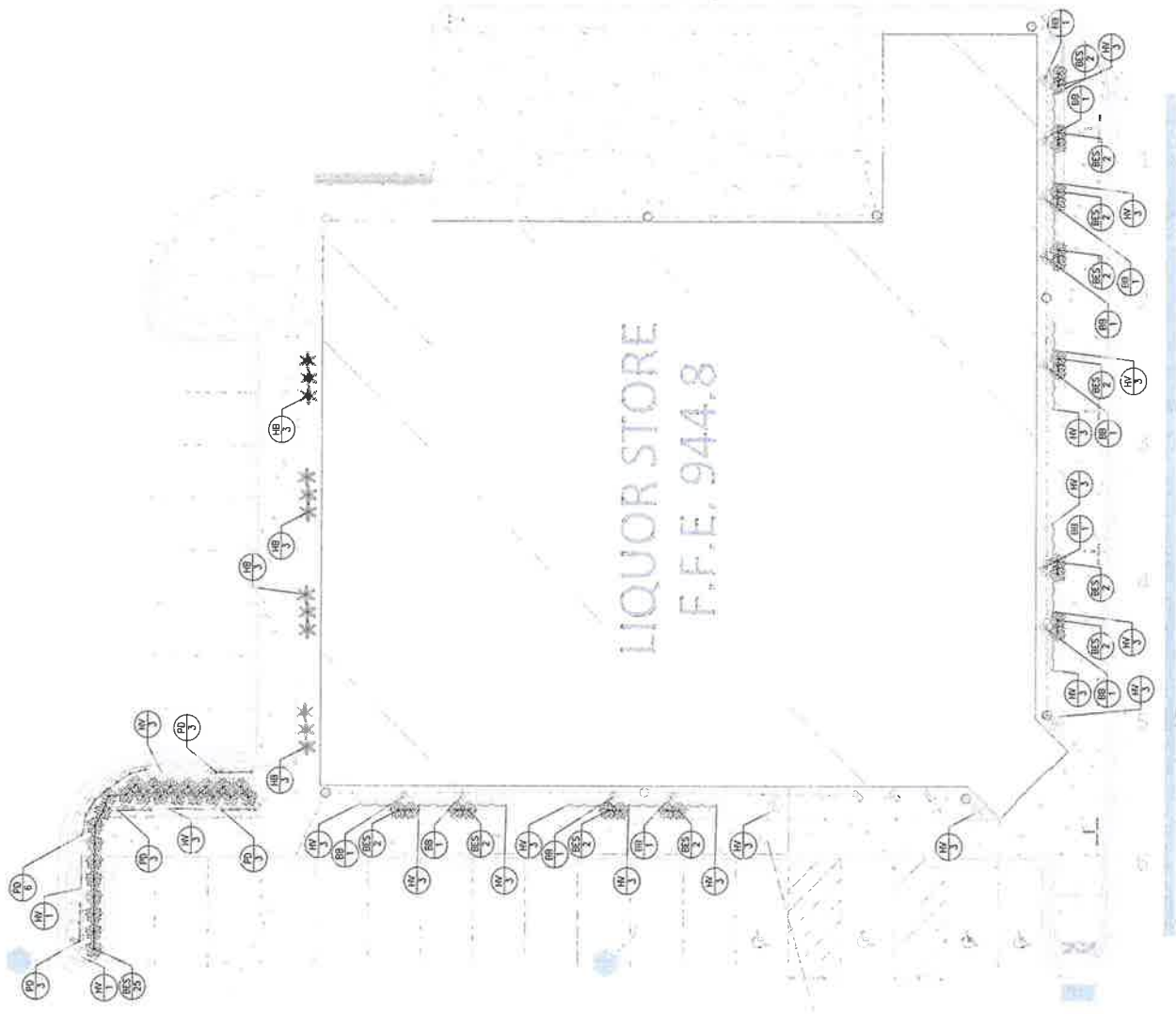
4 GATE SECTION



7 WEST DUMPSTER ELEVATION



6 NORTHSOUTH DUMPSTER ELEVATION



LIQUOR STORE
 F.F.E. 944.8

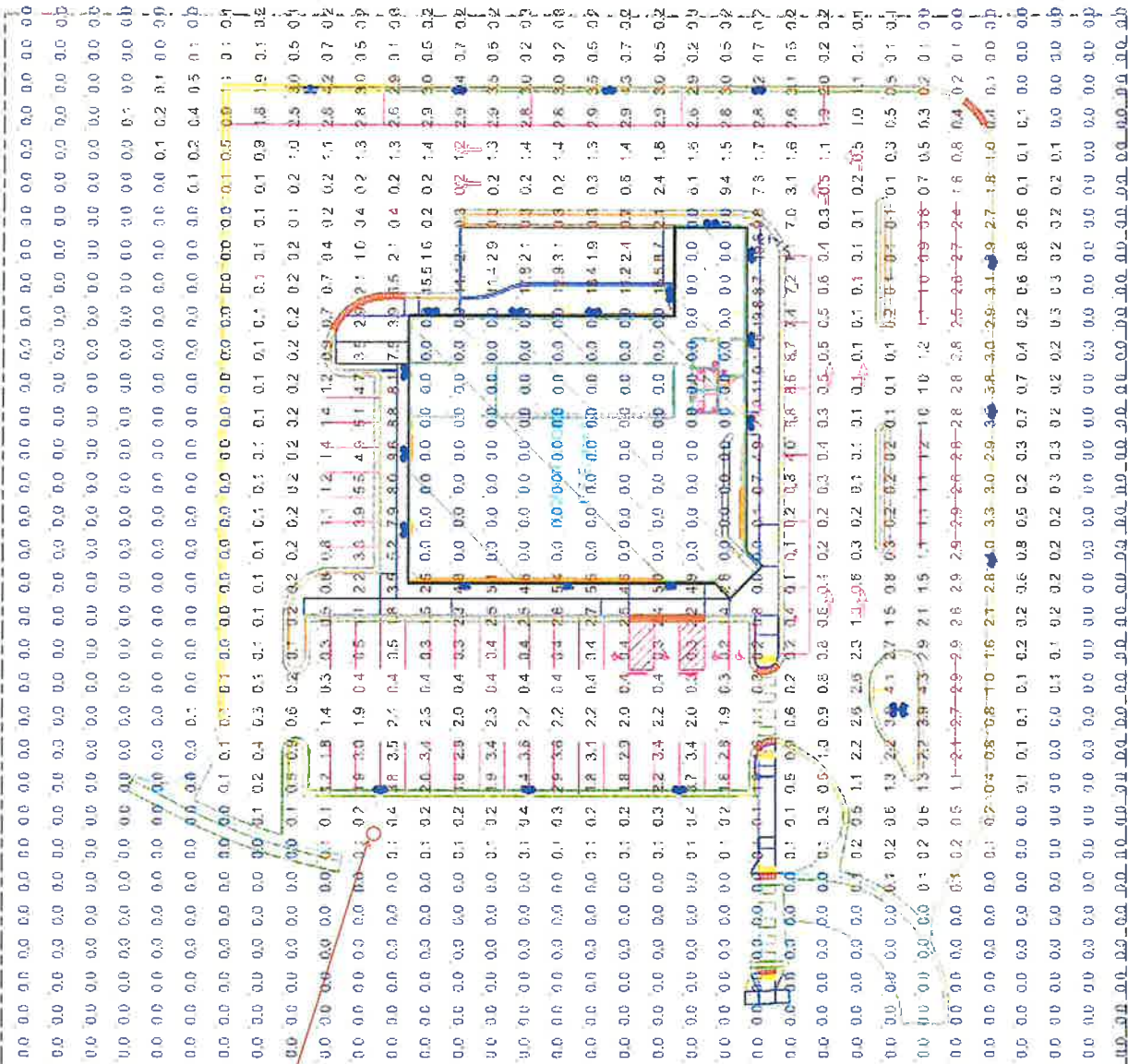
PROPOSED SHROUBS IRRIGATION ZONE	PROPOSED DRAINAGE IRRIGATION ZONE
PROPOSED SHADE TREE MAY - NORTHERN JACKLAW HONEY LOCUST	PROPOSED PERENNIAL H8 - Hairy Beard Tongue
PROPOSED SHADE TREE WD - WHITE OAK	PROPOSED PERENNIAL BES - BLACK EYED SUSAN
PROPOSED SHADE TREE BL - BOULEVARD LINDEN	PROPOSED PERENNIAL WV - HOARY VERVAIN
PROPOSED EVERGREEN TREE SHU - SKY HIGH JUNIPER	PROPOSED ORNAMENTAL GRASS BB - BIG BLUESTEM
	PROPOSED ORNAMENTAL GRASS PD - PRAIRIE DROPSEED

City of Isanti 3150 20th Street NE, Isanti, MN 55120-1000
 Project No. 15-001-0000-001
 2/23/2015 1:12:21 PM

© 2015 WIDSETH

AVERAGE 1.7 FOOT CANDLES

EXISTING LIGHT
FIXTURE: TBD



PHOTOMETRIC CALCULATION
CITY OF ISANTI
ISANTI LIQUOR

E4.11
SHEET NO.

FOR REVIEW ONLY - NFC



**CITY OF ISANTI
PLANNING COMMISSION MEETING
TUESDAY, March 16, 2021
Immediately following the 7:00 pm City Council Meeting
CITY HALL**

Seating may be limited. If you would like to send in a comment for a Public Hearing to be read on your behalf, please submit to the Community Development Director ssellman@cityofisanti.us or (763) 762-5761.

- 1. Meeting Opening**
 - A. Call to Order
 - B. Pledge of Allegiance
 - C. Roll Call
 - D. Agenda Modifications

- 2. Meeting Minutes**
 - A. Approval of Minutes from January 19, 2021 and March 2, 2021 Planning Commission Meetings

- 3. Public Hearing**
 - A. Request by Coffee Holdings, LLC for approval of Site Plans under City Ordinance 445 Section 10 and Conditional Use Permit under City Ordinance 445, Section 13, Article 2, Subd 4, said request is for a Caribou Coffee building with a drive-thru located at PID 16.029.0500.

 - B. Request by Paradise Homes for a Variance under City Ordinance 445, Section 21, Article 2, said request is to construct a four-season porch within the 30-foot rear setback requirement of Legacy Pines Second Addition PUD, located at 511 Blue Bird Ct, PID 16.155.0080.

- 4. Other Business**

- 5. Discussion Items**

- 6. Adjournment**

**CITY OF ISANTI
PLANNING COMMISSION MEETING
TUESDAY, January 19, 2021**

1. Meeting Opening

- A. Call to Order: Chair Johnson called the meeting to order at 7:23 p.m.
- B. Pledge of Allegiance
- C. Roll Call: Members present: Jeff Johnson, Dan Collison, Steve Lundeen, Jimmy Gordan, Paul Bergley, Alexander Collins, Arissya Simon.
Members Absent: None
Staff present: Community Development Director Sheila Sellman, Community Development Specialist Ryan Saltis, City Administrator Josi Wood, City Engineer Jason Cook
- D. Agenda Modifications: Remove Public Hearing Item 4.B

2. Organization of Advisory Bodies as per the City Code of Ordinances Chapter 8

- A. Election of 2021 Chair
- B. Election of 2021 Vice-Chair
- C. Election of 2021 Secretary
- D. Approval of Meeting Dates

The Planning Commission approved the 2021 meeting calendar, and the positions of the Chair (Jeff Johnson), Vice-Chair (Steve Lundeen) and Secretary (Sheila Sellman or designee) will remain the same as the 2020 positions. Motion for approval by Lundeen, second by Collision, motion passes 7-0.

3. Meeting Minutes

- A. Approval of Minutes from December 15, 2020 Planning Commission Meeting motion by Collison, second by Simon motion passes 7-0.

4. Public Hearing

- A. Request by Homepride, Inc for consideration of a Preliminary Subdivision and a Planned Unit Development called "Fairway Greens North" at PID's 16.020.1000 and 16.020.0803. Sellman presented the preliminary plans for a proposed single family residential housing development called Fairway Greens North. Representatives of the applicant, Homepride Inc and engineer of LHB Inc, were at the meeting and available for questions. There was no one present from the public to speak at the public hearing. The Planning Commission discussed if having one entrance/exit into the development would be sufficient for traffic and circulation of emergency vehicles. It was noted that the fire chief recommends another entrance/exit for the development to allow for multiple access points. The applicants explained that this request would be difficult due to the existing natural

features on site such as wetlands and forested areas which are intended to be preserved. And they do provide two outlets, one on the north and one to the east, but those won't be used until the adjacent lands develop. The applicant explained the entrance road off Cajima is wider than a standard road, that the 40 ft width would have enough clearance for cars and emergency vehicles to pass through, given that a condition is in place where there is no parking on this road along the north side. The Planning Commission was in agreement to this condition.

The Planning Commission also discussed the tree removal/preservation plan and whether the number of trees dispersed across the site after the removal of the wooded areas would be sufficient or if the lots would need to add an additional 2 trees (from the landscaping ordinance) on top of the replacement amount from the removal. The applicants explained that they would be planting over 400 trees across the development due to taking out expansive wooded areas, and that this number would equal more than two trees planted per lot. The Planning Commission determined that the number of trees that would be replanted would be sufficient as long as they place at least two trees per lot. Park dedication was also discussed and the applicants agreed to pay the fees associated with designating park space of a little over three acres. Conditions for approval from the Planning Commission include no parking on the north side of the entrance, requiring at least two trees per lot, and the applicant pays park dedication fees. Motion for approval of the preliminary plans with conditions given by the Planning Commission, conditions listed in the City Engineer's Report dated January 13th, 2021 and conditions listed in the Community Development Director's report dated January 19, 2021 by Lundeen, 2nd by Collison, motion passes 7-0.

- B. Request by the City of Isanti for a Preliminary and Final Subdivision to combine the current UPS parcel, PID 16.053.0151, with a city-owned vacant parcel to the east located at PID 16.029.1400 and 16.020.0803.

This agenda item was removed at the beginning of the Planning Commission meeting.

- C. Request by the City of Isanti for a Preliminary and Final Subdivision to subdivide PID 16.124.0020 into three five-acre lots

The Planning Commission discussed splitting up the 15-acre parcel into three five-acre lots of the shovel ready site, in which LTL, LLC will be purchasing the northern two lots. The city will retain the southern lot for sale in the future. A representative from LTL, LLC was present for questioning. There was no one from the public who spoke at the public hearing. Motion for approval to subdivide the parcel by Bergley, 2nd by Collins, motion passes 7-0.

5. **Other Business:** None
6. **Discussion Item:** None
7. **Adjournment:** Motion by Bergley, 2nd by Lundeen to adjourn, motion passed 7-0 meeting adjourned at 8:19 p.m.

Respectfully submitted by Ryan Saltis, Community Development Specialist

**SPECIAL PLANNING COMMISSION MEETING
TUESDAY, March 2, 2021**

1. Meeting Opening

- A. **Call to Order:** Chair Johnson called the meeting to order at 7:37pm
- B. **Pledge of Allegiance**
- C. **Roll Call:** Members present: Jeff Johnson, Steve Lundeen, Paul Bergley, Dan Collison, Alexander Collins, Jimmy Gordon.
Members absent: Arissya Simon.
Staff present: Community Development Director Sheila Sellman, City Administrator Josi Wood, City Engineer Jason Cook, Police Chief Travis Muyres, Widseth Project Team Mike England.
- D. **Agenda Modifications:** None
- E. **Adopt Agenda:** Motion by Lundeen, second by Collison to approve motion passes 6-0.

2. Public Hearing

- A. Request by the City of Isanti for approval of a Site Plan as required under City Ordinance 445, Sect. 18. Said request is for a municipal liquor store located at 10 6th Ave SE PID 16.029.2100. Sellman gave a power point presentation on the proposed liquor store. She commented that as proposed all zoning requirements have been met. Collison had questions about building signage and commented that we should look into internally lit signage for the building. Lundeen responded that different signage alternatives will be presented and that detail will be worked out at the permit process. Sellman noted that she would bring any sign proposals to the Council for approval. Collison questioned if the parking lot medians are necessary along the trailer parking area, noted that makes it harder for the plow trucks. City Engineer Cook responded that is for separation and to provide a guide for winter parking. He noted that there is an outlet on the SE corner of the site for a plow truck. The public hearing was opened and no one from the public spoke on this item. Motion by Lundeen to approve the site plan as presented, second by Collison, motion passed 6-0.

- 3. Adjournment:** Motion by Lundeen, second by Collison to adjourn, motion passed 6-0 meeting adjourned at 7:53pm.

Respectfully submitted by Sheila Sellman, Secretary/Community Development Director

**MEMORANDUM**

TO: Planning Commission

FROM: Ryan Saltis, Community Development Specialist

DATE: March 16, 2021

SUBJECT: Site Plan Review and Conditional Use Permit for a Caribou Coffee with a drive-thru located at 260 5th Ave NE

Request: The applicant, Coffee Holdings, LLC is requesting Site Plan and Conditional Use Permit (CUP) approval for a proposed building with a drive-thru located at 260 5th Ave NE for Caribou Coffee PID 16.029.0500.

Overview/Background: The applicant would like to construct a Caribou Coffee freestanding building on a 1.03-acre vacant lot located at the corner of Highway 65 and Main St E. A Caribou Cabin style building is proposed for the south side of the parcel while allowing room for future development on the remaining 0.46 acres of the north side of the parcel. This parcel is currently zoned B-2 General Business and is also within the Highway 65 Corridor Overlay District in which a “Coffee House” is a permitted use.

The building is intended to service drive-thru orders, walk up orders, along with order ahead requests to be delivered either curbside or via the pick-up window. The building is proposed to be 605 square feet and will be considered a “Caribou Cabin”, a small-scale building without indoor seating that will only allow employees to enter. The interior of the building will accommodate the service equipment, a bathroom and office area. An outdoor patio of roughly 400 square feet is proposed for use during seasons that would allow for customers to sit outside. The site is designed to accommodate nine cars in the drive-thru area, with a designated bypass lane running parallel to the drive-thru lane. Fourteen Parking stalls are also displayed on the site plans, with two of these stalls designated as handicap accessible.

Analysis of Application: The site plan for the building shall comply with the following requirements for both the B-2 General Business District and the Highway 65 Corridor Overlay District:

Lot Requirements

- Lot Size 1 acre
- Minimum Building Size 15% of lot size

The area of the parcel is 44,902 square feet or roughly 1.03 acres in size. The proposed building is 605 square feet and will not meet the minimum building size requirement (15% of lot size) in the Highway 65 Overlay District. The area of the proposed building will be 1.3% of the total lot size. However, there will potentially be two buildings on this site, being flexible now will allow this to happen.

Setbacks and Height Restrictions – Principal Building

- Front Yard Setback 30 feet
- Side Yard Setback 15 feet
- Street Side Yard Setback 20 feet
- Rear Yard Setback 15 feet
- Highway 65 Setback 100 feet
- Maximum Building Height 3 Stories or 45 ft, whichever is less

The proposed building will be located roughly in the middle of the lot and will meet all required setbacks. The building will be single story and will not exceed the 45 feet height requirement.

Impervious Surface Coverage

Twenty-five (25) percent of the total lot area shall consist of green space. Five (5) percent of the total lot area shall be green space within the parking perimeter. (Ord. No. 618)

The proposed development will be roughly 0.57 acres on the south end of the site and the remaining 0.46 acres is intended to be developed in the future. The landscaping requirement of 25% of the total lot area as green space will be met for this phase of development.

Parking Lot Setbacks

- Front Yard Setback 10 feet
- Rear Yard Setback 10 feet
- Street Side Yard Setback 10 feet
- Side Yard Setback 10 feet

Parking areas on site will meet the required 10-foot setbacks from property lines.

Parking Standards

The following minimum number of off-street parking and loading spaces shall be provided and maintained:

- | | |
|-----------------------------------|---|
| Fast food, drive-thru restaurants | 1 space for every 3 seats and 1 space for every employee on the peak shift, plus stacking space for 6 vehicles per service lane |
|-----------------------------------|---|

This type of use will require at least 6 parking spaces in which one stall would need to be designated as handicap accessible. The site plans show 14 parking stalls, in which two parking stalls are designated as handicap accessible. The site plans meet the required number of parking spaces for the development.

TABLE 9: Parking Lot and Parking Stall Dimensions

Angle of Parking	Stall Width	Curb Length Per Car	Stall Length	Aisle Width One Way	Aisle Width Two Way
90 degrees	9 feet	9 feet	19 feet	26 feet	26 feet

The site features 90-degree parking stalls and will follow the required stall dimensions of 9 feet in width and 19 feet in length. The drive aisle widths are proposed at 26 feet and meet the requirement for two-way vehicle circulation. The entrance to the drive-thru lane is proposed at roughly 10 feet in width, MN State Fire Code states that this width shall be a minimum of 20 feet to allow fire apparatus access to the building and customer vehicles in the drive-thru. A minimum turning radius of 28 feet for access roads is also a regulation listed in the State Fire Code, and mentioned in the Fire Chief’s memo. The applicant is requesting the ability to maintain the 12’ width as they feel they are providing adequate access to the 605 square foot building via two other access points in an emergency situation as depicted on the site plan. The Planning Commission should discuss if they want to allow this request.

Bicycle Parking

Bicycle parking is required for all new construction commercial developments in the city and is determined by the number of required car parking stalls. Since this site requires less than 20 parking stalls, the development will only need 1 required bike parking space. The site plans show bicycle racks near the outdoor patio area and walk-up service window to the building. The bicycle racks are proposed in a convenient location less than 50 feet from the building and will comply with the City’s Bicycle Parking standards.

Surfacing

All areas devoted for parking space and driveways shall be surfaced with asphalt, concrete, or other surface materials, as approved by the City Engineer, suitable to control dust and drainage. All parking areas shall be designed to control surface runoff to adjacent properties either with curbing or grading techniques.

The parking areas and drive-thru lanes are proposed to be surfaced with standard duty asphalt. Drive aprons around the site entrances, sidewalks and the outdoor seating patio will be surfaced with concrete.

Lighting

Any lighting used to illuminate off-street parking areas, signage, or buildings shall be directed away from residential properties and shall meet the standards as stipulated within Section 14 of this Ordinance.

Outdoor Lighting Standards

- A. Prohibited Lighting: No use or structure shall be operated or occupied as to create light or glare in such an amount or to such a degree or intensity as to constitute a hazardous condition, or as to unreasonably interfere with the use and enjoyment of property with by any person or normal sensitivities, or otherwise as to create a public nuisance.
- B. Minimum Standards: All uses shall comply with the following standards except as otherwise provided in this section:
1. Lighting fixtures shall be effectively shielded and arranged so as not to shine directly on any residential property. Lighting fixtures not of a cutoff type shall be subject to the following:
 - a. Maximum initial lumens generated by each fixture shall not exceed two thousand (2,000) lumens (equivalent to a one hundred fifty (150) watt incandescent bulb).
 - b. Mounting heights of such fixtures shall not exceed fifteen (15) feet.
 2. Lighting shall not create a sensation of brightness that is substantially greater than ambient lighting conditions so as to create annoyance, discomfort, or decreased visual performance or visibility.
 3. Lighting shall not directly or indirectly cause illumination or glare in excess of one-half (1/2) foot candle measured at the closest residential property line and five (5) foot-candles measured at the street curb line or non-residential property line nearest the light source.
 4. Lighting shall not create a hazard for vehicular or pedestrian traffic.
 5. Lighting of building facades or roofs shall be located, aimed, and shielded so that light is directed only onto the façade or roof.
 6. Lighting shall be maintained stationary and constant in intensity and color, and not be of a flashing, moving, or intermittent type.
 7. Business and industrial zoned property must light the trash enclosure areas for the safety of their employees.

A photometrics plan was submitted with foot candle readings and lighting types used on the site. Based on the foot candle readings on the photometrics plan these light sources will meet all criteria listed in Section 14 of the City Zoning Ordinance. Three downlit light poles are proposed to be placed around the drive-thru and bypass lanes and one light pole will be placed near the trash enclosure.

Curbing

Except for single-family dwellings, two-family dwellings, and townhouses, all parking areas located in the R-1, R-2, R-3, and R-4 as well as B-1, B-2, B-3, CBT, RC, I-1, or S-1 zoning districts must have curb and gutter around the perimeter of the parking lot.

Concrete curbing and gutters will extend around all parking areas and the drive-thru/by-pass lanes. The City Engineer's report addresses modifications to the curbing by replacing the existing curbing with B618 as needed.

Curb Cuts

The curb cuts proposed along 5th Avenue NE and Main St E are 26 feet in width and comply with City Standards.

Exterior Building Materials

These standards are intended to ensure coordinated design of building exteriors, additions and accessory structure exteriors in order to prevent visual disharmony, minimize adverse impacts on adjacent properties from buildings which are or may become unsightly, and buildings that detract from the character and appearance of the area. It is not the intent of this division of unduly restrict design freedom when reviewing and approving project architecture in relationship to the proposed land use, and site characteristics.

- A. The exterior wall finishes on any building shall be comprised of one or more of the following materials:
 1. Face brick.
 2. Natural stone.
 3. Glass.
 4. Decorative concrete block as approved by the City Council.
 5. Specifically designed pre-cast concrete units; if the surfaces have been integrally treated with an applied decorative material or texture.
 6. Masonry stucco.
 7. Other comparable or superior material as recommended by the Planning Commission and approved by the City Council.
 8. No more than 75% of the building sides visible from Highway 65 may be constructed of decorative concrete block, pre-cast concrete or stucco.
 9. The exterior of the building shall have varied and interesting detailing. Large unadorned walls shall be prohibited (50' or more). All large walls viewable from Highway 65 must be relieved by architectural detailing, such as change in materials, change in color, offsets, or other significant visual relief provided in a

manner or at intervals in keeping with the size, mass and scale of the wall and its views from the public right-of-way.

10. Exterior building material colors shall be complimentary of other buildings within the district.
11. Exterior elevations of all sides of a proposed building noting the material and color of each component, to include exterior building materials, awnings, mechanical screening material, fencing and the like, shall be submitted with the site plan for determination of compliance with the above requirements.

Exterior building materials include cultured/manufactured stone around the base of the entire building, Hardie Plank siding, trim board and metal roofing. Siding will be painted a teal color and the stone, trim and metal roofing are proposed to be varying brown colors. Exterior building material colors in the Highway 65 District are to be complimentary of other buildings within the district; the teal siding color does not match any surrounding buildings in the district but could be acceptable with flexibility and approval from the Planning Commission and City Council. The exterior of the building has varied detailing with materials and colors on all sides and visually appealing architectural detailing to resemble a "cabin feel" to the design.

B. Landscaping.

The site shall be landscaped in accordance with an approved landscape plan. All lots shall be sodded with four (4) inches of topsoil. One (1) tree shall be provided for every 10,000 square feet of lot or one (1) tree per fifty (50) feet of road frontage, whichever is greater.

The landscaping plan proposes to include 18 trees on site with 10 overstory trees planted along the perimeter of the site and 8 ornamental trees on the interior and north perimeter. The City Landscaping Ordinance requires that the site have at least 12 trees based on the lot frontage calculation (1 tree per 50 ft of lot frontage) and the proposed amount of 18 trees will meet this standard. The tree species and plantings proposed on the landscaping plan are consistent with the City Tree List and are permitted to be planted on site. Mulch will be placed around the perimeter of the site and sod will be laid on the interior of the site in between the drive-thru lane and the outdoor patio area.

Building Orientation

Building shall be oriented towards Highway 65 or, at a minimum, give the appearance of having a front facing Highway 65 (second front).

The building orientation is proposed to be four-sided architecture with all elevations proposing signage, stone base, plank siding and wall lamps. The west elevation will have a door for entering/exiting the building and the north, south, and east sides of the building will have windows.

Outdoor Seating Food service businesses, including, but not limited to, bakeries, delicatessens, coffee shops, and restaurants, may provide temporary outdoor seating as an accessory use for their patrons, provided the following requirements are met:

- A. An administrative permit shall be reviewed and approved by the City Planner or his/her designee. If the proposed outdoor seating area abuts a residential district, then a Conditional Use Permit is required.
Site Plan Approval will suffice for this requirement and a separate administrative permit is not necessary.
- B. Seating and furniture shall enhance the appearance of the business.
Furniture shall compliment the building and enhance the appearance of the business.
- C. Seating areas shall be located in a controlled or cordoned area with at least one (1) opening to an acceptable pedestrian walk. When a liquor license is involved, an enclosure is required and the enclosure shall not be interrupted. Access to such area shall be through the principal building only. Signage shall be displayed that restricts the consumption of alcohol outside of the designated outdoor seating area. The proposed use is not selling alcohol and the patio is in a designated area with pedestrian access.
The outdoor seating area will have pedestrian access from the parking lot area and sidewalks allowing controlled pedestrian walkways. Alcohol will not be served on site and the patio area will not have to be enclosed.
- D. Seating shall be located and designed so as not to interfere with pedestrian and vehicular circulation.
Outdoor patio design/plans shall be included on the site plan to display tables and seating areas to determine if these criteria are met for pedestrian access and flow. Such plans shall be submitted and approved by staff as part of the development agreement.
- E. Seating areas shall be equipped with trash receptacles and shall be periodically reviewed for litter pick up.
Trash receptacles shall be located on site plans in the outdoor patio area to reduce litter by customers.
- F. Seating areas shall not have loud speakers or audio equipment that is audible from adjacent property lines. All exterior sound equipment shall be shut off by ten (10) o'clock p.m.
Speakers or Audio Equipment are not shown on the exterior of building.
- G. Lighting shall be permitted to the extent that it only illuminates the designated seating area.

Freestanding light poles are not shown on the photometrics plan to illuminate the seating area. Wall lamps are proposed on the side of the building as shown on the exterior elevation plans.

- H. Seating areas shall not obstruct required accesses, entrances, and exits into the business establishment; but shall be located adjacent to the principal use.

The seating area is located in the middle of the site near the building and will not obstruct the access into the building.

- I. Seating shall not be located in such a manner as to obstruct parking spaces. No additional parking is required for thirty (30) seats or less. Any additional seating over thirty (30) seats shall provide required parking based on one (1) space per three (3) seats.

Seating areas will not obstruct parking spaces. Seating layout shall be shown on site plans for staff to determine whether additional parking is needed.

- J. Any proposed outdoor seating plan over fifty (50) seats shall be reviewed as a Conditional Use Permit.

If the applicant proposes an outdoor seating plan that exceeds 50 seats, they will need to apply for a Conditional Use Permit.

Refuse and Trash Receptacle Enclosures

- A. Refuse. All lots within all zoning districts shall be maintained in a neat and orderly manner. No rubbish, salvage materials, junk, or miscellaneous refuse shall be openly stored or kept in the open when the same is construed by the City Council to be a menace or nuisance to the public health, safety, or general welfare of the City, or to have a depressing influence upon property in the area.
- B. Trash Dumpsters and Garbage Receptacles Required: All new uses and buildings in all zoning districts, with the exception of the "R-1", "R-2", and "R-3A" Districts; shall have trash dumpsters or garbage receptacles provided on the parcel or lot and be adequately screened and enclosed. The location of trash dumpsters and garage receptacles shall be approved during the site plan approval process.
- C. Standards for Trash Enclosures: Trash dumpsters and garbage receptacles shall be screened from all lot lines and public roadways, in accordance with the following provisions:
1. The screening devices shall be designed so that they are architecturally harmonious with the principal structures on the site and shall meet the requirements as specified in Section 15 of this Ordinance.
 2. Trash enclosures shall be lit.

3. Trash enclosures shall be of an adequate size to accommodate all refuse and recyclables.
- D. Enclosure and Receptacle Maintenance Required: Fencing and landscaping for trash dumpsters and garbage receptacles shall be maintained in good condition and shall be kept litter-free at all times.

The trash enclosure is proposed to be located in the parking area and will be screened with coniferous shrubs and a large overstory tree near the curb cut on 5th Ave NE. The colors of the enclosure and bollards is consistent with the principal building on site. The trash enclosure is proposed to be 7'8" in height and will open on two sides for access by latched gates. The trash enclosure is proposed to be illuminated with a light pole for safety of employees.

Mechanical Equipment

Mechanical equipment shall be screened from the public right-of-way and from adjacent residential properties. Screening shall be compatible with the principal building and shall be provided in accordance with the regulations as provided within Section 15, Subdivision 3 of this Ordinance.

The Mechanical Equipment Pad and Electrical Transformer Pad are located near the outdoor patio area and are screened from all roadways by coniferous shrubs and ornamental trees. Flagstone steppers allow accessibility to these pads from the patio area.

Drive-Thru Facilities

Permitted by a Conditional Use Permit only as an accessory use to a business or restaurant providing the following requirements are met:

- A. No drive-thru window shall be adjacent to a public street.

The proposed drive-thru window will be located on the north side of the building and will not be adjacent to a public street.
- B. Drive-thru facilities shall be limited to one (1) service window which is part of the principal structure and not more than two queuing lanes, unless approved along with additional landscaping, screening, or other pedestrian amenities such as fencing, seating, raised pedestrian crossings, etc.

The exterior building elevations display one drive-thru window and one designated queuing lane, with a bypass lane running parallel to the drive-thru lane.
- C. There shall not be any additional curb cuts on a public right-of-way exclusively for the use of drive-thru queuing or exit lanes. Drive-thru traffic shall enter and exit from internal circulation drives.

The curb cuts will be located on 5th Ave NE and Main St E to access the site. These curb cuts will not be used exclusively to enter the drive-thru lanes.

- D. Queuing space for at least four (4) cars or seventy (70) feet shall be provided per drive-thru service lane as measured from but, not including the first drive-thru window or teller station.

The drive-thru lane will be able to accommodate 9 cars, with 2 additional waiting stalls ahead of the drive-thru window.

- E. Queuing space shall not interfere with parking spaces or traffic circulation with the parking lot or upon the public right-of-way.

Queuing space is located on the east side of the site and will wrap around the building, while the parking stalls are located on the west side of the parcel. Traffic circulation for cars entering into parking stalls will not be impacted by the drive-thru lane.

- F. Alcoholic beverages shall not be served.

There will be no alcoholic beverages sold on site.

- G. Exterior loud speakers shall be located a minimum of one hundred fifty (150) feet from any parcel containing a residential use and such speakers shall comply with the noise regulations as provided within Isanti City Code of Ordinances.

The site does not border a residential area.

- H. A by-pass lane shall be provided, allowing autos to exit the drive-thru lane from the stacking lane.

A by-pass lane is provided that runs parallel to the drive thru lane, allowing vehicles to exit the drive-thru lane from the stacking lane.

- I. Screening of automobile headlights must be provided. Screening shall be at least three (3) feet in height and fully opaque. Screening shall consist of a wall, fence, dense vegetation, berm or grade change or similar screening as determined to be acceptable by the City Council.

The landscaping plan displays trees and shrubs surrounding the drive-thru and by-pass lane to screen vehicle headlights from surrounding parcels and roadways.

Drive-Thru Facilities are a Conditional Use and must follow criteria prior to approval. The Planning Commission shall hold a public hearing and consider possible adverse effects of the proposed Conditional Use. The judgment of the Planning Commission shall be based upon, but is not limited to the following factors:

1. The proposed action has been considered in relation to the specific policies and provisions of and has been found to be consistent with the goals and objectives of the Comprehensive Plan, including public facilities and capital improvement plans.

The nature of the drive-thru service is consistent with the goals and objectives of Isanti's Comprehensive Plan. The subject property is serviced by city sewer and water.

2. The proposed action meets the purpose and intent of this Ordinance and the underlying zoning district.

Drive-Thru Facilities is a Conditional Use in the B-2 zoning district and Highway 65 overlay district and is an accessory use to a business or restaurant. Applying for the CUP meets the purpose and intent.

3. The establishment, maintenance or operation of the conditional use will promote and enhance the general public welfare and will not be detrimental or endanger the public health, safety, morals, or comfort.

The establishment will not be detrimental or endanger the public.

4. The conditional use will not be injurious to the use and enjoyment of other property within the immediate vicinity for the purposes already permitted; nor substantially diminish or impair property values within the neighborhood.

The conditional use will not diminish or impair surrounding property values.

5. The establishment of the conditional use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.

The conditional use will not impede on the normal and orderly development and improvement of surrounding property.

6. Adequate public facilities and services are available or can be reasonably provided to accommodate the use which is proposed.

The site is served by City sewer and water, and will be able to reasonably accommodate the conditional use for Drive-Thru Facilities.

7. The conditional use shall, in all other respects, conform to the applicable regulations of the district in which it is located.

The conditional use meets this requirement.

8. The conditional use complies with the general and specific performance standards as specified by within this Article.

The use meets this requirement.

Signs

Wall signs.

1. Wall signs shall be located a minimum of one (1) foot from the side of the building or unit line.

Signs located on the front and rear elevations show lettering that overlaps the side of the building and does not meet this requirement to be located a minimum of 1 foot from the side of the building. Sign plans shall be altered to meet this requirement.

2. The minimum sign area for each building or tenant shall be not less than twenty-five (25) square feet.

The building is proposed to have signage on all sides and will not be less than 25 square feet in area.

3. The maximum wall sign area is to be no greater than three hundred (300) square feet per business or unit regardless of wall size.

The building will not exceed 300 square feet in sign area.

4. One (1) wall sign per building or unit is permitted on the primary frontage. Additional wall signage may be permitted on the secondary frontage, which shall not exceed eighty (80) percent of the primary sign area allowance.

Wall signs are proposed on all four sides of the building. The front and rear elevations will have similar wall size dimensions and both side elevations will have the same dimensions. Two wall signs are proposed on both sides of the building and will not meet this requirement. Planning Commission shall discuss the wall signage proposed on the building. What is your recommendation?

5. Wall signs shall not exceed the number of square feet for every lineal frontage of building or unit wall in which the sign is to be located, for the district in which it is located, as provided: Zoning District Square feet of Sign Area B-1 1 CBT, B-3, RC, POS 1.5 Heritage Blvd Overlay, I-1 1.75 B-2 2 TH 65 Overlay 2.5

Wall signs in the Highway 65 Overlay District are allowed up to 2.5 square feet of sign area for every lineal frontage of the building. Based on the dimensions of the building and sign area proposed, the wall signs will meet this standard.

6. Wall signs shall not project more than eighteen (18) inches from the façade of the building.

Wall signs are proposed to project roughly 5 inches from the façade of the building.

7. On non-residential multiple story buildings, wall signs shall be located below the bottom of the second story; except that wall signs indicating the building name or the name of the primary occupant shall be permitted above the floor level of the highest floor in the building.

The building is proposed to be one story in height.

8. Illumination. The light source shall be either internal or shielded external to minimize glare and light spilling unto neighboring properties. The illumination of signs shall not interfere with surrounding uses.

The proposed wall signs show a trim cap surrounding signage that will shield the light from glare. Illumination of these signs will not interfere with surrounding uses.

The site proposes wall signage on all four sides of the building, directional signs near the curb cuts on 5th Ave NE and Main St E. and one freestanding sign near Highway 65. The freestanding sign proposed near Highway 65 follows the requirement for 10 ft setbacks from property lines. Dimensions for the freestanding sign were not provided, therefore the sign will not be included with this site plan review. A sign permit for this freestanding sign shall be provided with dimensions, materials and location prior to approval. Menu boards for the drive-thru will not exceed the 60 square foot maximum requirement.

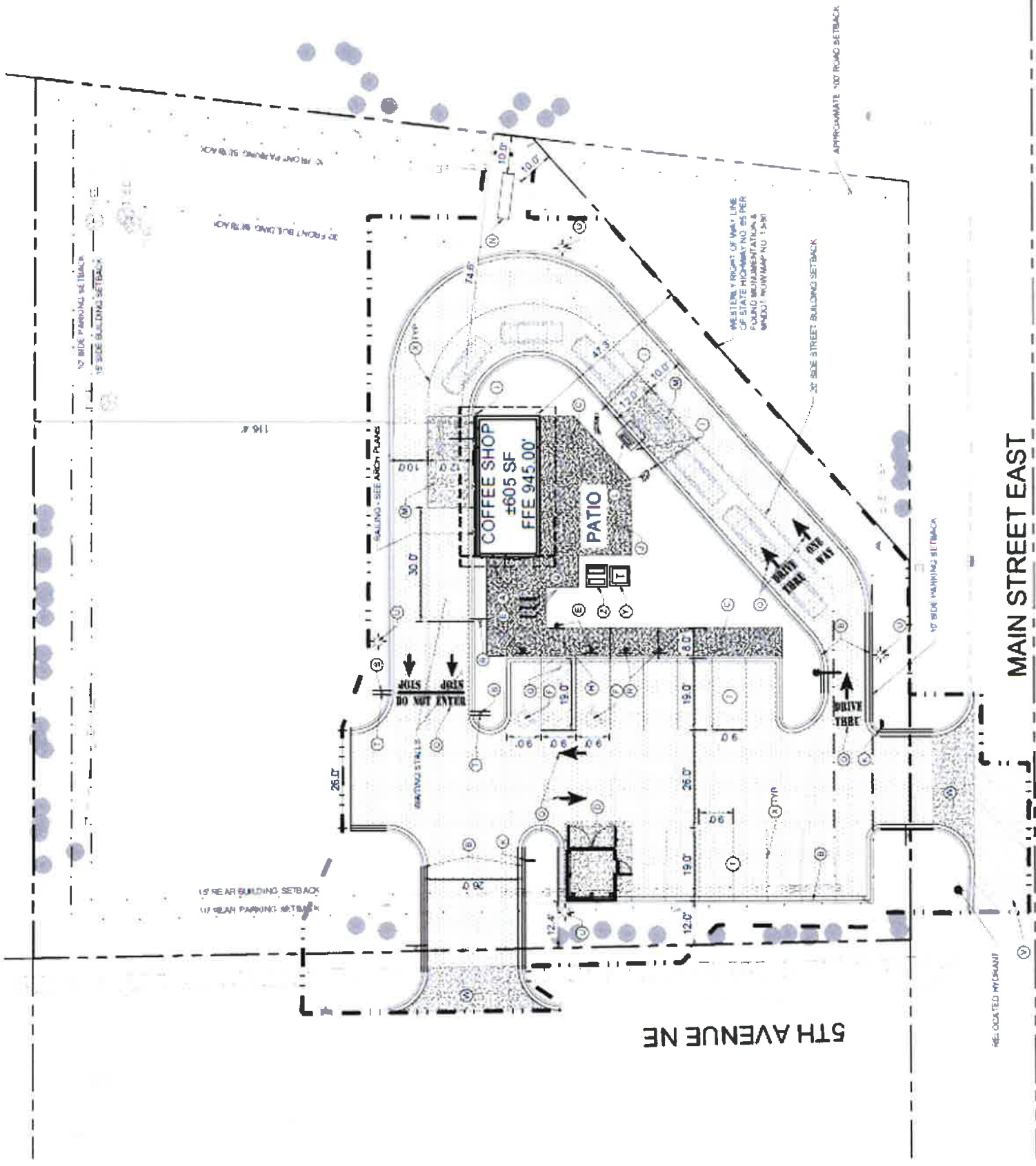
Staff Recommendation: Staff recommends approval of the Site Plan and Conditional Use Permit for the proposed Caribou Coffee free standing building located at 260 5th Ave NE with the following conditions:

1. Lighting Designs shall follow requirements in Subdivision 5 Outdoor Lighting Standards of Section 14 of Isanti's City Zoning Ordinances.
2. Outdoor Patio design/layout of tables and seating shall be shown on site plan and approved by staff and as part of the development agreement.
3. Wall signs shall be altered to be within 1 foot from the side of the building.
4. All freestanding signs require a sign permit to determine dimensions and locations and are not approved as part of this site plan review.
5. Applicant shall apply for all permits associated with the building including a building permit, mechanical permit, plumbing permit, electrical permit, and sewer and water hookup.
6. All other conditions listed in the City Engineer's memo, dated 2/23/2021 shall be met.
7. A minor development agreement shall be executed and recorded prior to issuance of a building permit.

Attachments:

- Site Plans and Landscaping Plans
- Floor Plan and Exterior Elevations
- Photometrics Plan
- Sign Plans
- Engineer's Memo Dated 2/23/2021
- Fire Chief's Memo

STATE HIGHWAY NO. 65



5TH AVENUE NE

MAIN STREET EAST

RELOCATED HYDRANT

APPROXIMATE 100' ROAD SETBACK

WESTERN RIGHT OF WAY LINE OF STATE HIGHWAY NO. 65 PER FOUND DOCUMENTATION & SHOOT POINT MAP NO. 1-9-90

15' SIDE STREET BUILDING SETBACK

15' SIDE PARKING SETBACK

CALLING - SEE ARCH PLANS

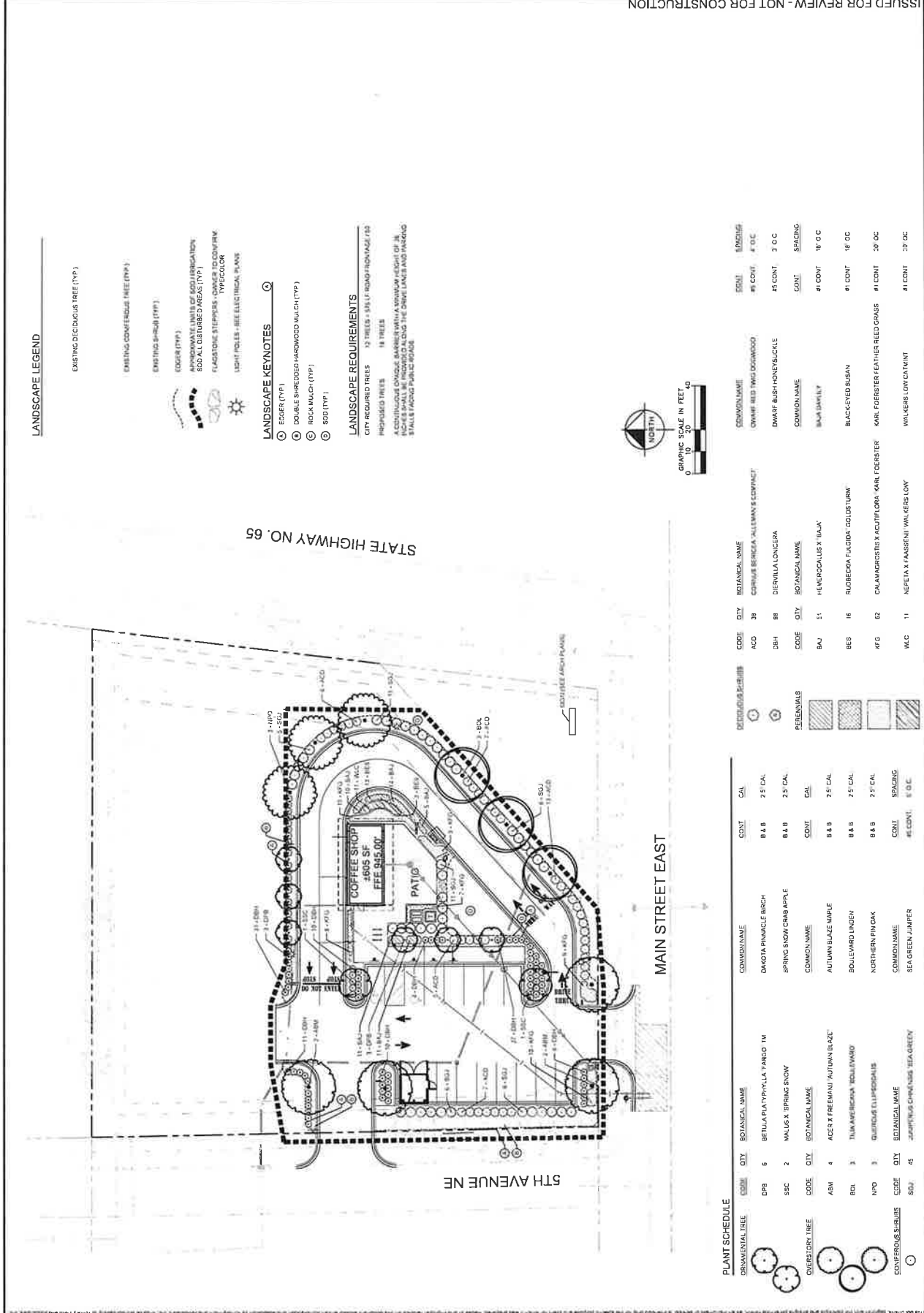
DO NOT ENTER

MARKING STALLS

15' REAR BUILDING SETBACK
15' REAR PARKING SETBACK

15' SIDE PARKING SETBACK
15' SIDE BUILDING SETBACK

15' FRONT BUILDING SETBACK
15' FRONT PARKING SETBACK

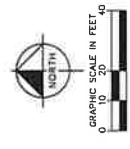


LANDSCAPE LEGEND

- EXISTING DECIDUOUS TREE (TYP)
- EXISTING CONIFEROUS TREE (TYP)
- EXISTING SHRUB (TYP)
- EDGE (TYP)
- APPROXIMATE UNITS OF SOIL/JERIBRATION; SOIL ALL DISTURBED AREAS (TYP)
- FLAGSTONE STEPPERS - OWNER TO CONFIRM TYPE/COLOR
- LIGHT POLES - SEE ELECTRICAL PLANS

- LANDSCAPE KEYNOTES**
- EDGE (TYP)
 - DOUBLE SHREDED HARDWOOD MULCH (TYP)
 - ROCK MULCH (TYP)
 - SOD (TYP)

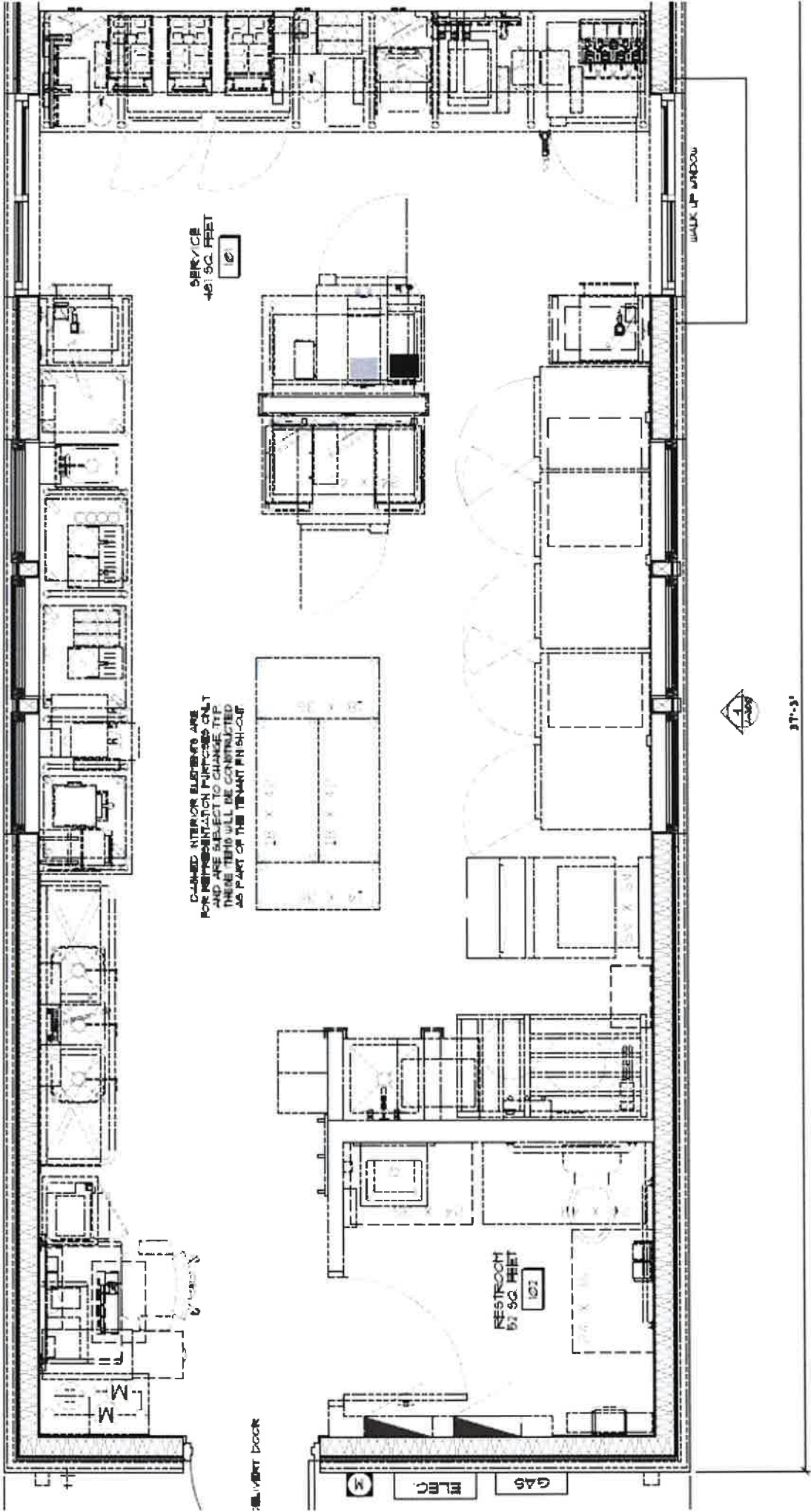
- LANDSCAPE REQUIREMENTS**
- CITY REQUIRED TREES: 12 TREES x 3/4" LF ROUND TRUNK @ 1.30
 - IMPROVED TREES: 18 TREES
 - CONIFEROUS TREES: 18 TREES
 - PLANTINGS TO BE INSTALLED WITHIN 14 DAYS OF COMMENCEMENT OF CONSTRUCTION. ALL PLANTINGS TO BE INSTALLED AT THE SAME TIME AND PLACE AS THE OTHER PLANTINGS.
 - STALLS FACING PUBLIC ROAD



PLANT SCHEDULE

ORNA/SHRUB TREE	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL
	DPB	6	BETULA PAPPYRIFERA FARGO TM	DIAGIA PINACLE BIRCH	B 6 B	2 5 CAL
	SSC	2	MALUS X SPRING SNOW	SPRING SNOW CRAB APPLE	B 4 B	2 5 CAL
OVERSTORY TREE	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL
	ABM	4	ACER X FREEMANI AUTUMN BLAZE	AUTUMN BLAZE MAPLE	B 8 B	2 5 CAL
	BCL	3	TIKA AMERICANA REDLEAF WING	BOULEVARD LINEN	B 8 B	2 5 CAL
	NPO	3	QUERCUS ELIMIPICANUS	NORTHERN PIN OAK	B 8 B	2 5 CAL
CONIFEROUS SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPACING
	SOI	45	SCOPIMUS CHINENSIS SEA GREEN	SEA GREEN JAMPER	# 6 CONT	1' O C

DECIDUOUS SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPACING
	ACD	38	CORNUS BERGICAE 'ALLEWELYN'S COMPACT'	CORNUS BUSH-TWO DOWNWOOD	# 6 CONT	4' O C
	DBH	88	DIERVILLA LONCERA	DWARF BUSH-HONEYBUCKLE	# 5 CONT	3' O C
PERENNIALS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPACING
	BAJ	51	HEXEROCALUS X 'BAJA'	BAJA LAVENDER	# 4 CONT	18" O C
	BES	16	RUBECODA FUCIDA 'GOLDSTURN'	BLACK-EYED SUSAN	# 1 CONT	18" O C
	KFG	62	CHAMAENOSTIS X ACUTIFLORA 'WALT FORSTER'	KARL FORSTER FEATHER REED GRASS	# 1 CONT	30" O C
	WAC	11	NEPETA X 'PASSERINI WALKERS LOW'	WALKERS LOW CATWALT	# 1 CONT	30" O C



DIT WINDOW

MECHANICAL ROOM

SERVICE
49 SQ. FEET
102

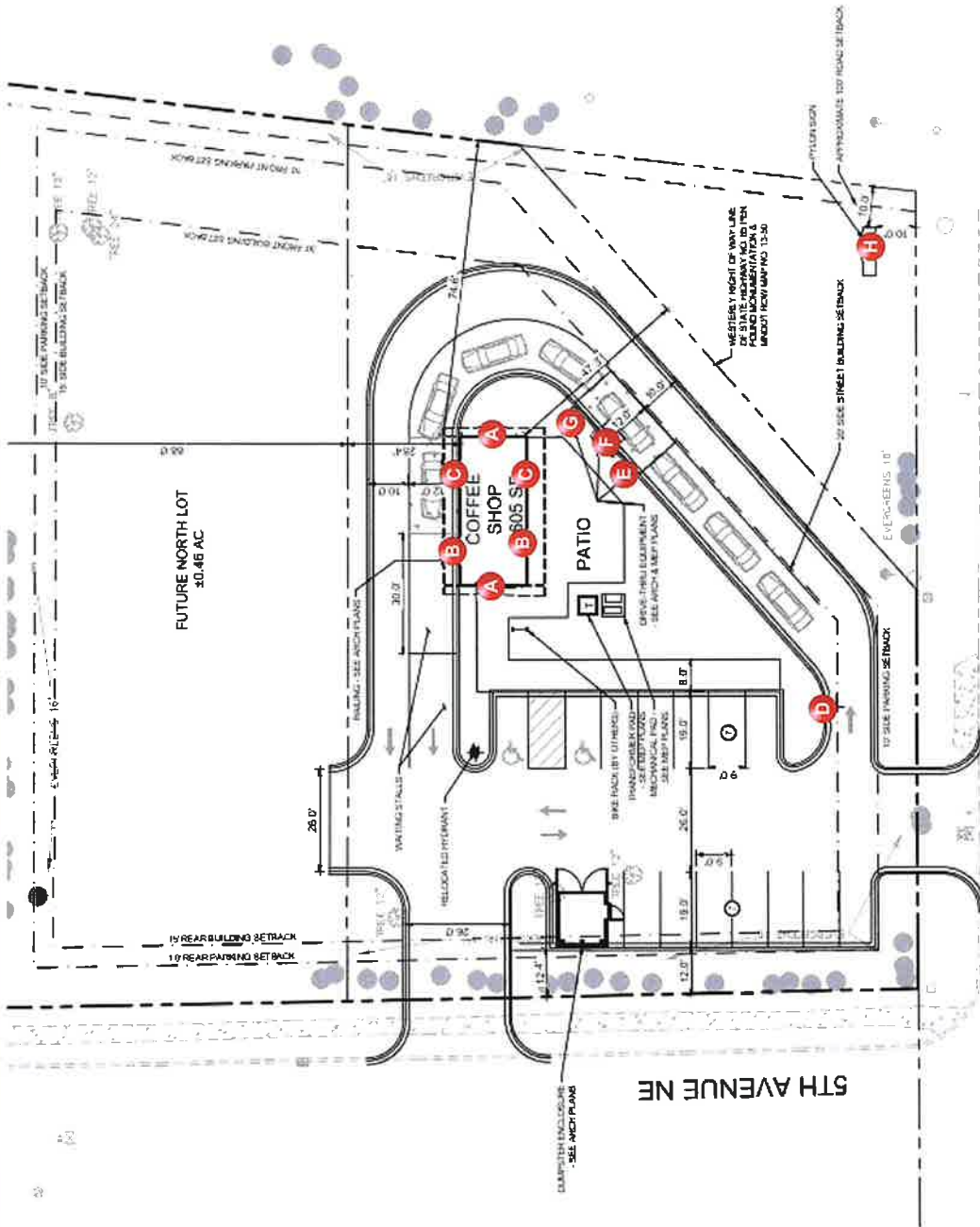
DASHED INTERIOR ELEMENTS ARE
FOR REPRESENTATION PURPOSES ONLY.
THESE ITEMS WILL BE CONSIDERED
AS PART OF THE TENANT FINISH-OUT

RESTROOM
67 SQ. FEET
102

37'-3"



1 FLOOR PLAN
1/2" = 1'-0"



STATE HIGHWAY NO. 65

5TH AVENUE NE

Sign Schedule

- A** 16" Channel letter set on raceway
- B** 22" Channel letter set on raceway
- C** 54" Logo Shield
- D** Vehicle height detector
- E** Preview board
- F** Order Point Canopy
- G** 5 Panel Menuboard
- H** MONUMENT 61"x93.5"

MAIN STREET EAST

Everbrite, LLC - 4249 South 116th Street - Omaha, NE 68135 - www.everbrite.com

Customer/Site No: 0065R

Address: HIGHWAY 65 AND MAIN ST. ISNATI, MN 55040

Description: CARIBOU COFFEE

Prepared By: Jennifer Meinski

Date: 02/17/2021

PIF: 443603-1

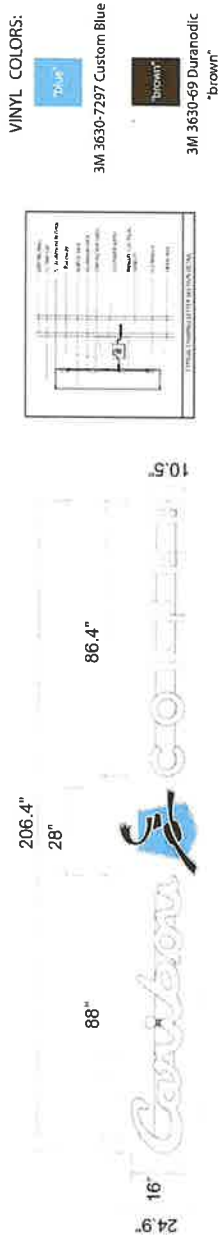
Customer Signature:



Sign Schedule

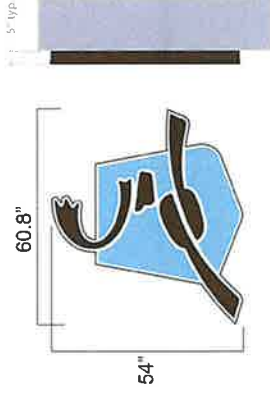


FRONT ELEVATION



Everbrite		DISCLAIMER: Renderings are for graphic purposes only and not intended for actual construction purposes. For detailed requirements, actual dimensions and mounting details, please refer to engineering specifications and install drawings. These drawings and designs are the exclusive property of Everbrite, LLC. Use or duplication in any manner without express written permission of Everbrite, LLC is prohibited.	
Customer: Caribou Coffee	Project No: 438979	Scale: NTS	Description: 16" Channel Letter Set
Date: 11/5/20	Location & Site No: Isnati, MN	Drawn By: DB	Customer Approval: <input type="checkbox"/> Sketch OK as is <input type="checkbox"/> New sketch required
CC0065ADR	Revised:	SIGNATURE	DATE

Sign Schedule



SIDE ELEVATION



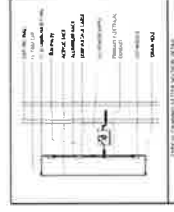
VINYL COLORS:



3M 3630-7297 Custom Blue



3M 3630-69 Duranodic
"brown"



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Customer: Caribou Coffee
Project No: 432669-2
Date: 7/14/20
Location & Site No: Coon Rapids, MN
CCCCOONRAPIDSMIN

Description: 22" Channel Letter Set,
54" Shield
Scale: NTS
Drawn By: DB

Customer Approval: NOTE: Unless specified by customer, all depth of embossing will be determined by Everbrite Engineering or existing customer specifications on file. Color and graphics on file will be used unless otherwise specified by customer.
Please read carefully, check appropriate box and fax back to Everbrite:
 Sketch OK as is
 New sketch required

SIGNATURE _____ DATE _____



Everbrite, LLC 4549 South 110th Street Greenfield, WI 53228 www.everbrite.com
Customer/Site No: 0065R
Address: HIGHWAY 65 AND MAIN ST. ISNATI, MN 55040
Description: CARIBOU COFFEE

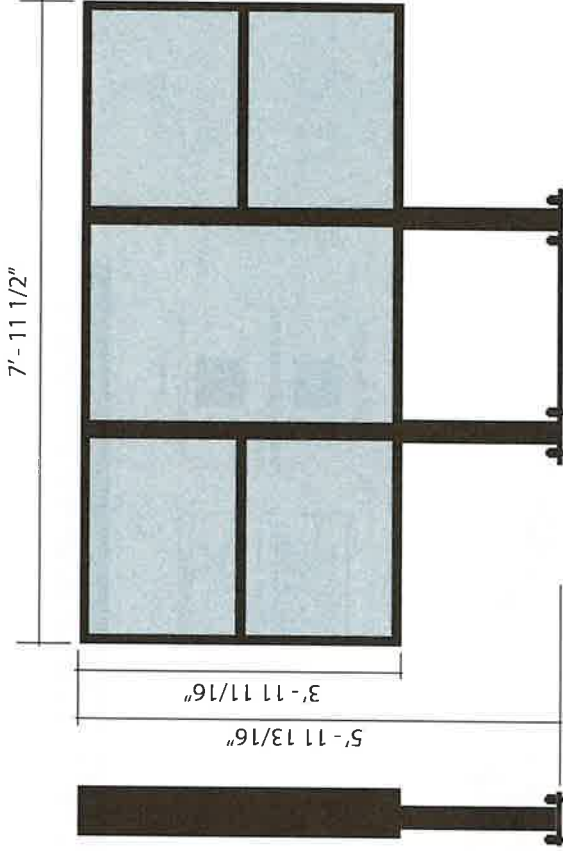
Everbrite

Caribou COFFEE

These drawings and designs are the exclusive property of Everbrite, LLC or Everbrite, LLC is prohibited.

CARIBOU COFFEE MENUBOARD:

- 4' h (Nominal) x 8'w (Nominal) Illuminated menuboard.
- OAH: 6'
- Shroud height: 1' 5-1/2" h.
- Double Pole
- Anchor bolt foundation.
- 5 panels
- LED Illumination 138 Lumens Sq Ft, Color Temp 5000k
- Aluminum cabinet
- Painted Duranodic Brown
- Divider bars painted Duranodic Brown
- Inserts provided by others.
- Slotted base plate.
- All Menuboards to have internal disconnect switch

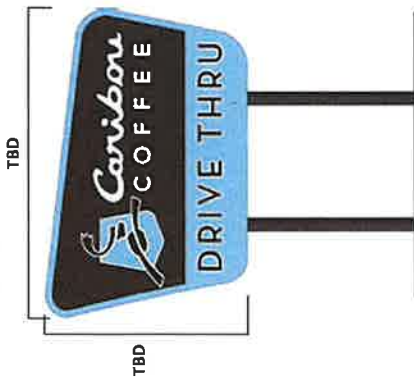


Everbrite
 Customer: Caribou Coffee
 Description: Menu Board
 Customer Approval: NOTE: Unless specified by customer, all depth of embossing will be determined by Everbrite Engineering or existing customer specifications on file. Colors and graphics

DISCLAIMER: Renderings are for graphic purposes only and not intended for actual construction dimensions. For windload requirements, actual dimensions and mounting detail, please refer to engineering specifications and install drawings. These drawings and designs are the exclusive property of Everbrite LLC. Use of, or duplication in any manner without express written permission of Everbrite LLC is prohibited.

Everbrite
 Everbrite, LLC - 4649 South 110th Street - Greenfield, WI 53228 - www.everbrite.com
 Customer/Site No: 0065R
 Address: HIGHWAY 65 AND MAIN ST., ISNATTI, MN 55040
 Description: CARIBOU COFFEE
 Prepared By: Jennifer Melinski
 Date: 02/17/2021
 PIF: 443603-1
 Customer Signature:
Caribou COFFEE
 Page 14 of 20
 These drawings and designs are the exclusive property of Everbrite, LLC. Use of them in any manner without express written permission of Everbrite, LLC is prohibited.

SIDE 1



- Double faced cabinet.
- Faces to be flat poly.
- Decoration to be vinyl with the standard Caribou spec.
- Cabinet to be LED illuminated.
- Cabinet depth TBD.

VINYL COLORS:

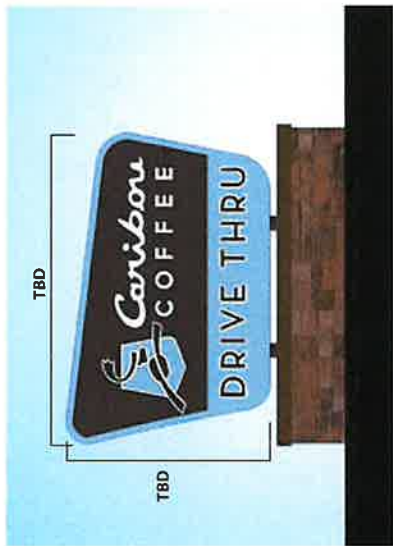
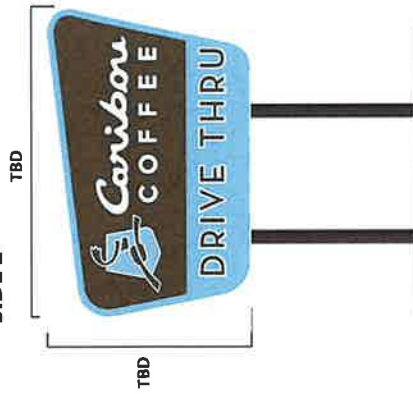


3MVT 17935 Blue



3M 3630-69 Duranodic "brown"

SIDE 2



DISCLAIMER: Renderings are for graphic purposes only and not intended for actual construction dimensions. For windload requirements, actual dimensions and mounting detail, please refer to engineering specifications and install drawings. These drawings and designs are the exclusive property of Everbrite LLC. Use of, or duplication in any manner without express written permission of Everbrite LLC is prohibited.

Customer: Caribou Coffee

Description: Pylon

Customer Approval: NOTE: Unless specified by customer, all depth of embossing will be determined by Everbrite Engineering or existing customer specifications on file. Colors and graphics



Everbrite

Everbrite, LLC 4949 South 110th Street - Greenfield, WI 53228 - www.everbrite.com

Customer/Site No: 0065R

Address: HIGHWAY 65 AND MAIN ST. ISNATI, MN 55040

Description: CARIBOU COFFEE

Prepared By: Jennifer Melinski

Date: 02/17/2021

Customer Signature:

PIF: 443603-1

Customer Signature:

Caribou COFFEE



Real People. Real Solutions.

7533 Sunwood Drive NW
Suite 206
Ramsey, MN 55303-5119

Ph: (763) 433-2851
Fax: (763) 427-0833
Bolton-Menk.com

MEMORANDUM

Date: February 23, 2021
To: Sheila Sellman, Community Development Director
From: Jason W. Cook, P.E.
City Engineer
Subject: Caribou Cabin Isanti - Plan Set - Engineering Review
City of Isanti, MN
Project No.: 0R1.123130

We have reviewed the Site Plan entitled "Caribou Cabin Isanti" received on February 22, 2021 with an "Issued for Review-Not for Construction" note and a revision date of 2/18/2021.

The project includes the construction of a new Caribou Cabin building and parking lot. The site plan includes 14 single car parking stalls (including 2 handicap stalls), a storm water collection system, sanitary sewer and water service extensions, a drive through with bypass lane, landscaping, and site grading.

We have reviewed the submitted documents and have the following comments:

General Comments:

1. Issue final plans that have a signature date.
2. Create removal plan depicting the following along with all other removal items needed:
 - a. Show how many trees will be removed
 - b. Remove the existing concrete driveway apron and curb cut onto Main Street. Replace curb with full B618 through old entrance.
 - c. Remove sidewalk as needed along 5th Avenue.
 - d. Remove existing curb & gutter & replace with valley gutter or full B618 as needed.

Site Plan Sheet:

1. Show patching the existing sidewalk at the storm sewer crossing and at the proposed 5th Avenue Driveway with ramps as needed for grade.
2. Extend new 5' wide sidewalk along Main Street from 5th Avenue Ped Ramp to Main Street driveway access.
3. Concrete valley gutters will be needed at both proposed entrances.
4. Depict where gutter out curb will be used.
5. See attached record drawing for pavement section in the street for patching. Show proposed pavement section in parking lot and on street patch.
6. Show B618 C&G required along city streets.
7. Monument sign placement is shown in MnDOT Right-of-Way. Written approval from MnDOT will need to be submitted to the City prior to approval of site plan and sign location.



**BOLTON
& MENK**

Real People. Real Solutions.

7533 Sunwood Drive NW
Suite 206
Ramsey, MN 55303-5119

Ph: (763) 433-2851
Fax: (763) 427-0833
Bolton-Menk.com

8. Label stop signs on plan.

Grading Plan Sheet:

1. 5th Avenue entrance cannot exceed 1.5% across sidewalk walkway. Show sidewalk ramps as needed to tie into entrance and joint concrete to delineate walkway.
2. Does the storm sewer pipe cross too close to the proposed light pole between STRM 105 & STRM 102?

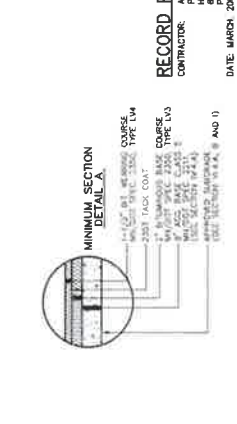
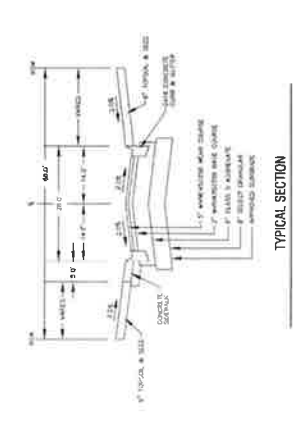
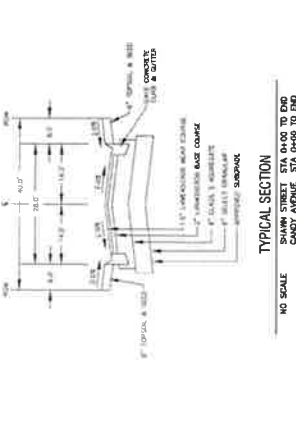
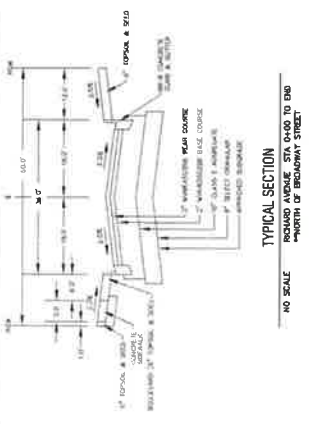
Utility Plan Sheet:

1. See attached marked up record drawing for location of existing water service stub and alternate hydrant relocation. Remove street patch area from plans.

Landscaping Plan:

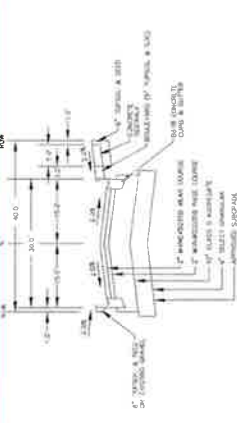
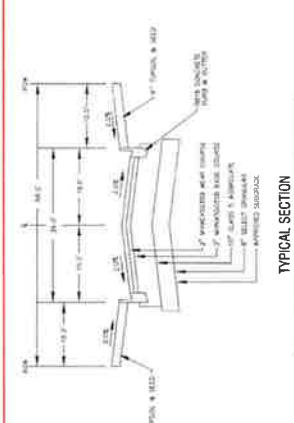
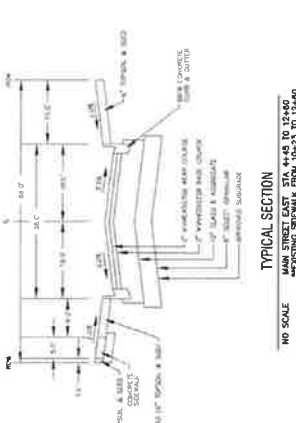
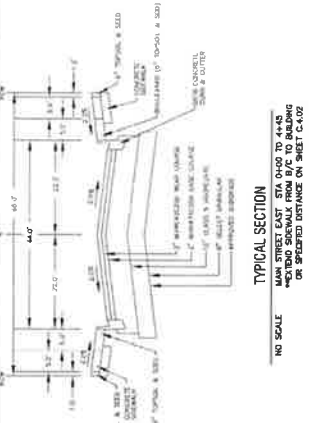
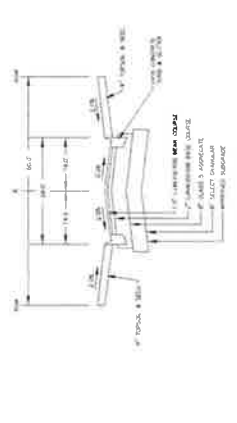
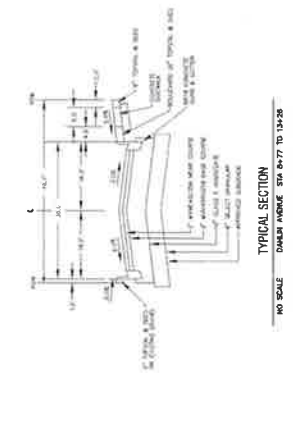
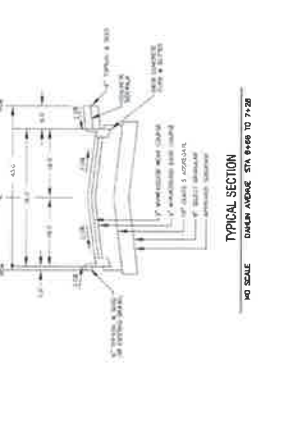
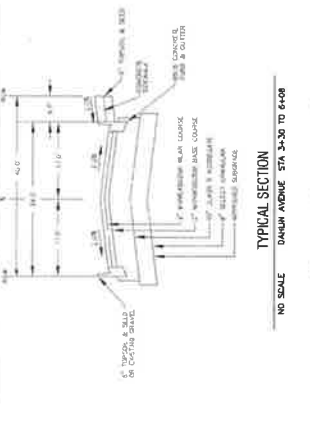
1. Verify all disturbed surfaces will receive landscaping or 4-inches of topsoil and sod. Seeding is not allowed. The General Notes include both seeding and sodding notes.
2. Submit irrigation plan.

We recommend approval of the plans once the above comments are addressed.



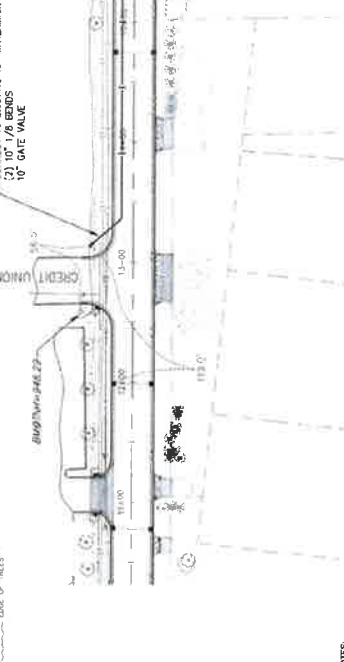
RECORD PLAN
ARCON CONSTRUCTION CO. INC
P.O. BOX 159
1500 15th Avenue S.W.
Bloomington, MN 55425
612-879-4474
DATE: MARCH 2007

This Record Plan has been prepared, in part, based on information compiled and furnished by others. The Engineer has not verified the accuracy and/or completeness of the information obtained and will not be responsible for any errors or omissions that may appear hereon. This Record Plan is intended for use as a guide only.



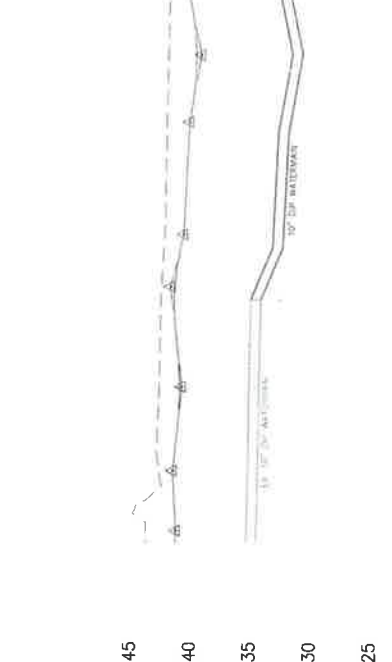
LEGEND

- 1. CONCRETE WELLS
- 2. MESH
- 3. SAND
- 4. SAND
- 5. SAND
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- NOTES:**
1. ALL WATERMAIN SHALL BE QUINCY PIPE, CLASS 15, WITH 1.5' COVER.
 2. ALL WATERMAIN 8" OR LARGER SHALL BE QUINCY PIPE, CLASS 15, WITH 1.5' COVER.
 3. ALL SANITARY SEWER PIPE SHALL BE PVC ASTM 3024 SDR 35 UNLESS OTHERWISE INDICATED.
 4. ALL SANITARY SEWER PIPE SHALL BE PVC SDR 35 UNLESS OTHERWISE INDICATED.
 5. ALL SANITARY SEWER PIPE SHALL BE PVC SDR 35 UNLESS OTHERWISE INDICATED.
 6. IF THE CONTRACTOR ENCOUNTERS ANY DRAIN TILE WITHIN THE SITE, HE OR SHE SHALL NOTIFY THE ENGINEER WITH THE APPROVAL FROM THE PROJECT ENGINEER.
 7. ALL SANITARY SEWER AND WATERMAIN SHALL BE FIELD VERIFIED FOR LOCATION AND ELEVATION.
 8. ALL SANITARY SEWER AND WATERMAIN SHALL BE FIELD VERIFIED FOR LOCATION AND ELEVATION.
 9. CONTRACTOR SHALL PROTECT EXISTING STRUCTURES, FENCES, LANDSCAPING, ETC. OUTSIDE THE ROW.
 10. FIRE PROTECTION SHALL BE MAINTAINED AT ALL TIMES. COORDINATE WITH ISANT FIRE DEPARTMENT IF NEEDED AS PROVIDED TEMPORARY WATER SERVICE TO RESIDENTS DURING CONSTRUCTION.
 11. PROVIDE TEMPORARY WATER SERVICE TO RESIDENTS DURING CONSTRUCTION.

MAIN STREET EAST



Station	Profile Elevation	Ground Elevation
925	925.00	925.00
930	930.00	930.00
935	935.00	935.00
940	940.00	940.00
945	945.00	945.00

RECORD PLAN
 ARCON CONSTRUCTION CO INC
 P.O. BOX 159
 651-574-4771

DATE: MAP# 234-00

22-4-00

21-10-00

20-10-00

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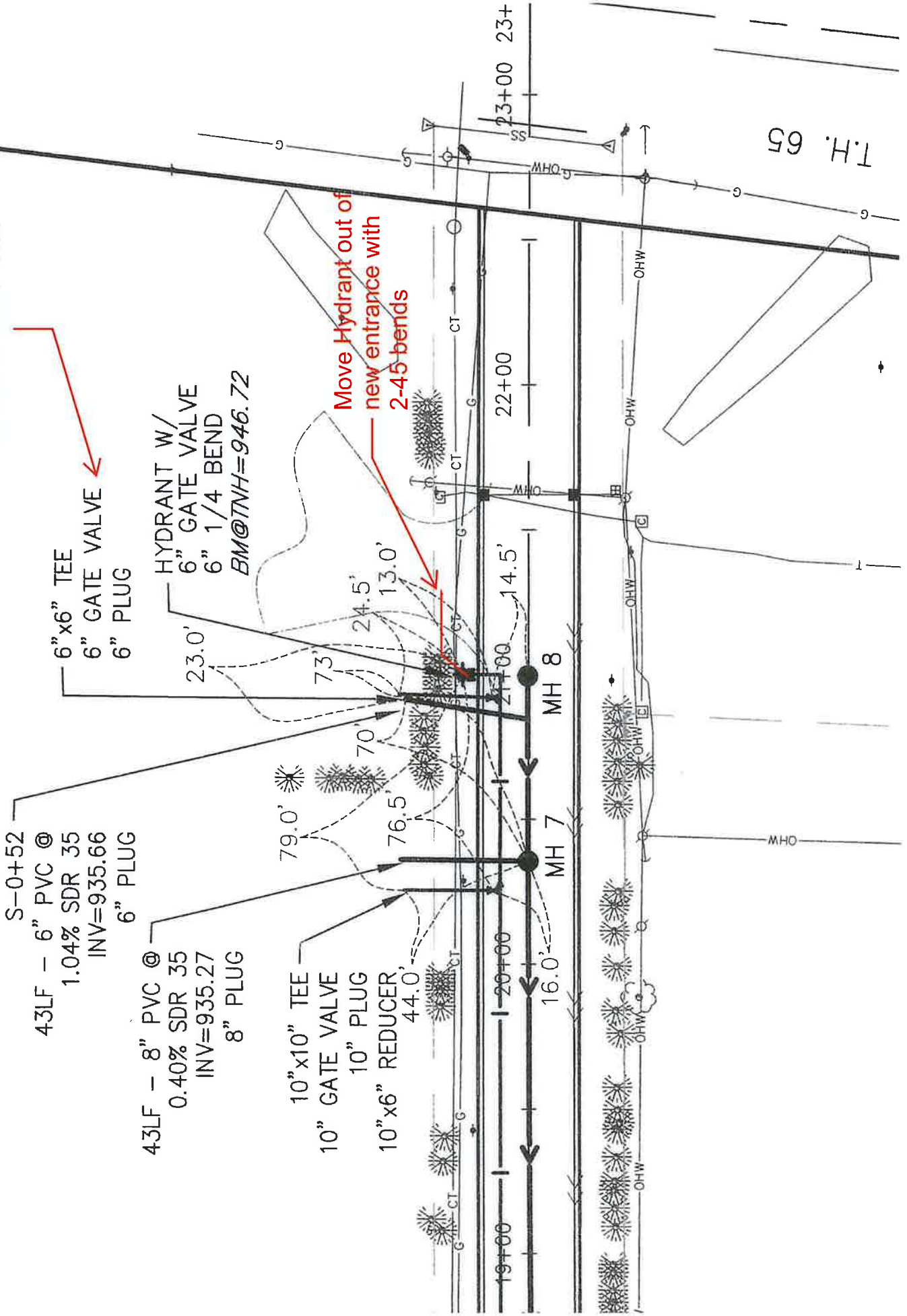


Checked	Date	By
3/15/00	3/15/00	3/15/00

Sheet Number	Sheet
C.5.03	C

These Record Plans have been prepared in part based on information compiled and furnished by others. The Engineer does not warrant the accuracy and/or completeness of the information provided and shall not be responsible for any errors or omissions and/or have been incorporated into these Record Plans at a risk.

Connect water service to this 6" stub



T.H. 65

February 23, 2021

City of Isanti

RE: Caribou Coffee Plan Review



Isanti Fire has reviewed the proposed Caribou Cabin on 5th Avenue NE in the City of Isanti, for Coffee Holdings, LLC. Listed below are noted concerns regarding fire safety, as well as applicable language from the 2015 MN State Fire Code.

- 1) Fire access (road) to south, and east facing building sides. To allow fire apparatus access to building and customer vehicles in the drive through, please ensure the access road maintains a minimum width of 20 feet and a minimum radius of 28 feet.

503.1.1 Buildings and facilities.

Approved fire apparatus access roads shall be provided for every facility, building, or portion of a building hereafter constructed or moved into or within the jurisdiction. The fire apparatus access road shall comply with the requirements of this section and shall extend to within 150 feet (45 720 mm) of all portions of the facility and all portions of the exterior walls of the first story of the building as measured by an approved route around the exterior of the building or facility.

503.2.1 Dimensions.

Fire apparatus access roads shall have an unobstructed width of not less than 20 feet (6096 mm), exclusive of shoulders, except for *approved* security gates in accordance with Section 503.6, and an unobstructed vertical clearance of not less than 13 feet 6 inches (4115 mm).

503.2.4 Turning radius.

The required turning radius of a fire apparatus access road shall be determined by the fire code official.

Sincerely,

Alan Jankovich | Fire Chief
Isanti Fire District



MEMORANDUM

TO: Planning Commission

FROM: Sheila Sellman, Community Development Director

DATE: March 16, 2021

SUBJECT: Request by Paradise Homes for a Variance under City Ordinance 445, Section 21, Article 2, said request is to construct a four-season porch within the 30-foot rear setback requirement of Legacy Pines Second Addition PUD, located at 511 Blue Bird Ct, PID 16.155.0080.

Request: Paradise Homes is requesting a 4.68-foot variance to the 30-foot rear yard setback for construction of a 4-season porch.

Overview/Background: The subject site is vacant and legally described as Lot 8, Block 1, Legacy Pines 2nd Addition. This is a new residential development that is finishing building out the 2nd addition and the 3rd Addition is starting construction. The subject site has a rear yard setback of 30 feet and the applicant is requesting a variance to encroach on the required setback.

As stated previously the subject site is a vacant residential lot. The buyers of the lot are in the design phase and would like to build a 196 square foot 4-season porch with full basement on the back of the house. According to the applicant the building in the front is only 54 feet (to meet setbacks) so the home was designed to be narrow and long, which causes the setback encroachment. According to the applicant this is the best location for the porch as it is advantageous for energy savings, safety and mechanical issues.

In review of the standards established within Section 21 Administration and Enforcement, Article 5 Variances, Subdivision 4 Procedures (D), the following conclusions have been made (*conclusions to each requirement are shown in italics*):

An application for a variance shall not be approved unless the variance, if permitted, is in harmony with the general purposes and intent of the ordinance and is consistent with the Comprehensive Plan and findings are made that failure to grant the variance would result in practical difficulties on the applicant. Practical difficulties used in connection with the granting of a variance, means that the property owner meets all of the following criteria:

- A. The property owner proposes to use the property in a reasonable manner not permitted by the zoning ordinance. *A single-family dwelling is permitted by the zoning ordinance however the setback proposed does not. A single-family home is a reasonable use of the land and meeting the setback can be achieved if they reduce the side of the porch or reconfigure somehow.*
- B. The plight of the landowner is due to circumstances unique to the property and has not been caused by the landowner. *This property is not unique and the circumstances are directly caused by the owners.*
- C. A variance, if granted, will not alter the essential character of the locality. *Granting a variance for a rear yard setback does not alter the essential character of the locality.*
- D. Practical difficulties include but are not limited to, inadequate access to direct sunlight for solar energy systems. *Not applicable.*
- E. Economic considerations alone do not constitute practical difficulties. *Economic considerations do not play a role in this situation*

Staff Recommendation:

The five criteria for granting a variance are listed above not all criteria are met. Staff has reservations about recommending approval of this variance. The site is vacant and the house can be designed to meet the setbacks that are required. If the house was existing the variance could be argued since there wouldn't be room for a 4-season porch with the proposed house design, but that is not the case there is no house built yet. Not all of practical difficulties are met, therefore staff recommends denial.

If the Planning Commission recommends approval, they will need to list why they are approving so that it can be reflected in the findings of fact for the Council to adopt.

Attachments:

- Applicant's narrative
- Site Plan

Narrative for Lot Variance request

Paradise Homes Inc is requesting a Variance for a new home to be buildt on Lot 8 Block 1 Legacy Pines Second Addition.

This is a full bsmt walkout culdesac lot with the backyard facing S ,S-W.Adjoining the Backyard is Outlot D.

Outlot D slopes gently S, S-W to a Pond and Homes on Whiskey Rd. N.W.These homes back up to the west side of the pond.These Homes are about 300-400 feet away from Lot 8's backyard.

The Buyers would like to build a 4 season Porch on the rear of home with full bsmt,not posts, for not only added warmth and structural benefit but also to capture the S,S-W rolling pond view.

Because the building envelope in frt of lot is only 54 feet,the home was designed narrow but long about 75+ feet. The rear of the Home therefore encroaches the rear property by 4.68 feet causing our hardship.

The Home is designed w/garage on the right or the Northwest corner of lot.This acts as a buffer to Home from from winters bitter N.W. winds.The Home has 2 smaller windows on the North side of Home to be more energy efficient which is all important to the Senior aged buyers.

Also important are the new Homes Sewer and Water service locations on the south side of lot.Thus the rough ins come straight into the Homes mechanical Room when tying in Utilities.Also important is not having to trench in 8 ft deep thru driveway location causing future settling issues.

Also important to the buyers,in the winter,is the Sun's radiation in helping to melt off the front stoop,walkway and driveway to help reduce ice and prevent unwanted slips and falls.

Important also is the lots natural water drainage flow.Walkout lots have about 8 ft of fall front to back.With the porch on the back of home theres no restriction of water drainage and danger of water intrusion into the Bsmt. Nobody wants water intrusion Especially with a finished Bsmt.

In summary we would like to build the home with the porch on the Back of Home.This will eliminate any elevation and water drainage Hardships.Its also advantageous for Energy Savings,Saftey and Mechanical issues and settling in building areas.We also feel the proposed home will blend in astetically with surrounding homes in the neighborhood and bring added value.The buyers and Paradise Homes Inc. thank you for your consideration.



**CITY OF ISANTI
PLANNING COMMISSION MEETING
TUESDAY, May 18, 2021
Immediately following the 7:00 pm City Council Meeting
CITY HALL**

Seating may be limited. If you would like to send in a comment for a Public Hearing to be read on your behalf, please submit to the Community Development Director ssellman@cityofisanti.us or (763) 762-5761.

- 1. Meeting Opening**
 - A. Call to Order
 - B. Pledge of Allegiance
 - C. Roll Call
 - D. Agenda Modifications

- 2. Meeting Minutes**
 - A. Approval of Minutes from the March 16, 2021 Planning Commission Meetings

- 3. Public Hearing**
 - A. Request by Anthony Hanson for approval for a Preliminary and Final Plat under City Ordinance 536, said request is for a development labeled Fairway Greens South located at PID 16.142.0020.

 - B. Request by Isanti Self Storage for approval of Site Plans under City Ordinance 445 Section 18 and Conditional Use Permit under City Ordinance 445, Section 21, Article 2, said request is for self-storage facilities located at 515 1st Ave NW.

- 4. Other Business**

- 5. Discussion Items**

- 6. Adjournment**

PLANNING COMMISSION MEETING

TUESDAY, March 16, 2021

Immediately following the 7:00 P.M City Council Meeting;

1. Meeting Opening

- A. Call to Order: Chair Johnson called the meeting to order at 7:44 p.m.
- B. Pledge of Allegiance
- C. Roll Call: Members present: Jeff Johnson, Dan Collison, Steve Lundeen, Jimmy Gordan, Paul Bergley, Alexander Collins, Arissya Simon.
Members Absent: None
Staff present: Community Development Director Sheila Sellman, Community Development Specialist Ryan Saltis, City Administrator Josi Wood
- D. Agenda Modifications: None

2. Meeting Minutes

- A. Approval of Minutes from the January 19, 2021 Planning Commission Meeting and the March 2, 2021 Special Planning Commission Meeting motion by Lundeen, second by Collison, motion passes 7-0.

3. Public Hearing

- A. Request by Coffee Holdings, LLC for approval of Site Plans under City Ordinance 445 Section 10 and Conditional Use Permit under City Ordinance 445, Section 13, Article 2, Subd 4, said request is for a Caribou Coffee building with a drive-thru located at PID 16.029.0500.

The Community Development Specialist presented the site plans for a proposed Caribou Coffee building with drive-thru facilities located at 260 5th Ave NE. There was one representative present at the meeting from Coffee Holdings LLC, Jon Fahning the applicant who was available for questioning from the Planning Commission. The Planning Commission discussed access to the site from Main St and 5th Ave NE and the width of the drive-thru lane not being able to accommodate a fire truck per request of the Fire Chief. The applicant discussed other areas on site where a fire truck would be accessible to both the building and drive-thru lanes without the truck needing to pass through these service lanes. The Planning Commission agreed that a Fire Truck would be able to access the building and service lanes by other locations on site. The Planning Commission reviewed the exterior signage on the building and approved all signs on the exterior of the building concluding that the signage plan presented is the signature look for this size of building. The freestanding signs on site will have to apply for a separate sign permit and are not included with the site plans. The applicant was also asked questions regarding employee numbers, other locations in the state with this size of building, and future development plans for the north end of the site. Jimmy Gordon pointed out that the Planning Commission should be aware of the Highway 65 zoning district regulations and how other businesses in the district were also held to higher

standards. Conditions listed in the staff report included lighting design, outdoor patio layout, wall sign placement and entering into a minor development agreement. The Planning Commission discussed with the applicant whether conditions listed in the staff report were reasonable. The applicant was aware of the conditions for approval and concluded that they would be able to accommodate these conditions. There was no one present from the public to speak at the public hearing. Motion for approval of site plans and Conditional Use Permit for drive-thru facilities with conditions listed in the Community Development Specialist staff report dated March 16, 2021 and City Engineer's report dated February 23, 2021 by Lundeen, 2nd by Gordon, motion passes 7-0.

- B. Request by Paradise Homes for a Variance under City Ordinance 445, Section 21, Article 2, said request is to construct a four-season porch within the 30-foot rear setback requirement of Legacy Pines Second Addition PUD, located at 511 Blue Bird Ct, PID 16.155.0080.

Sellman presented the variance request to construct a four-season porch within the 30-foot rear setback. The encroachment of the porch would be roughly 4 feet into the 30-foot rear setback. Sellman explained how the variance request does not meet criteria listed for practical difficulties and recommended denial of the variance. Sellman noted that if the Planning Commission would like to approve the variance, they will need to indicate the reasoning and how it meets practical difficulties. The applicant, Bob Straus of Paradise Homes was present at the meeting and available for questions from the Planning Commission. Lundeen asked why the plans for the house or the porch couldn't be altered. The applicant explained how the dimensions of the porch would make it functional, if it had to follow the 30-foot setback requirements, the size of the porch would not be functional. The applicant explained that there is a large outlot behind the property, and that encroaching 4 ft into the rear setback would not impact surrounding properties. Planning Commissioner Simon reminded the Commission that there was a similar variance request for rear setback encroachment for a house that backed up to an outlot and that this request was passed by the Planning Commission. Collison explained that a request like this should be considered on a case-by-case basis and they are not looking to set a precedent. There was no one from the public who spoke at the public hearing. Planning Commission members discussed the reasons for approval and included that there was a similar case approved, there is not a utility easement where the porch will be placed and that the lot backed up to an outlot. Motion for approval of the Variance by Gordon, 2nd by Simon, motion passes 6-1.

- 4. Other Business:** None
- 5. Discussion Item:** None
- 6. Adjournment:** Motion by Bergley, 2nd by Collison to adjourn, motion passed 7-0 meeting adjourned at 8:27 p.m.

Respectfully submitted by Ryan Saltis, Community Development Specialist



MEMORANDUM

TO: Planning Commission

FROM: Sheila Sellman, Community Development Director

DATE: May 18, 2021

SUBJECT: Request by Anthony Hanson for approval for a Preliminary and Final Plat under City Ordinance 536, said request is for a development labeled Fairway Greens South located at PID 16.142.0020.

Request: The applicant is requesting Preliminary and Final Plat for Fairway Greens South for 45 single family lots.

Overview/Background: In 2014, a preliminary plat for Fairway Greens Phase Seven was approved, the same plat configuration that is under consideration. In 2017 a final plat was approved for Fairway Greens Phase nine that platted the subject site into Outlot A Fairway Greens Phase Nine. The applicant is requesting approval of the preliminary plat that was approved in 2014 and final plat. Since this site had a preliminary plat approved in 2014 and haven't made any changes Council can consider both preliminary and final at the same time. They will still need to enter into a development agreement and receive approval of said agreement through City Council.

Analysis of Application

The subject site is part of Fairway Greens Planned Unit Development, with many phases. The PUD has allowed for varying house sizes and lot sizes.

Zoning-The subject site is zoned R-1/PUD. The PUD Master Plan sets the parameters for lot size, setbacks, house size etc. Minimum requirements not spelled out in the PUD Master Plan will divert back to the Zoning Code for R-1. As proposed the plat is generally consistent with the PUD. The lot sizes range from 8,698 square feet to 30,021 square feet, these sizes are consistent with the PUD. Section 15 of the zoning code requires all residential lots to have two (2) trees per lot. lots that are 8,000 square feet or larger must provide three (3) trees and corner lots 12,000 square feet or larger require four (4) trees.

Comprehensive Plan – This proposal is consistent with the City’s 2020 Comprehensive Plan Future Land-Use Map, which identifies this parcel as low density residential for future development.

City Engineer Comments – The City Engineer’s memo is attached. With revisions laid out in the report Engineering is recommending approval.

Staff Recommendation:

Staff recommends approval of the Preliminary and Final Plat subject to the following conditions:

1. The developer must enter into a Development Agreement with the City of Isanti, which will outline the general terms of the development. Development fees will be charged to the developer based upon the City Fee Schedule.
2. The developer shall be responsible for any and all permits and approvals that may be necessary from other applicable governmental agencies. These permits and approvals shall be submitted to the City of Isanti and/or other governmental jurisdictions that may require said permits prior to development.
3. Any and all costs associated with the recording and processing of any agreements and Plat shall be assumed by the developer.
4. The setback requirements are as follows:

Front yard setback:	Thirty (30) feet; however, when adjoining principal buildings existing at the time of construction on a vacant lot, the required front yard setback for the new structure shall not be greater than the average front yard setbacks of the building on either side of the vacant lot.
Side yard setback:	Ten (10) feet
Street side yard setback:	Twenty (20) feet
Rear yard setback:	Thirty (30) feet
Accessory Structure:	Five (5) feet
5. Trees and landscaping shall be planted on each lot according to Section 15 of the City Zoning Ordinance.
6. Dedication, if required, of utility and access easements are granted to the City of Isanti.
7. The developer, at their cost must install sidewalks consistent with City Codes and Ordinances.
8. Address items/conditions identified in the Memorandum from City Engineer Jason Cook dated May 7,2021 to Community Development Director Sheila Sellman.

Attachments:

Proposed Plat

City Engineer's memo

Fire Chief memo



Real People. Real Solutions.

7533 Sunwood Drive NW
Suite 206
Ramsey, MN 55303-5119

Ph: [763] 433-2851
Fax: [763] 427-0833
Bolton-Menk.com

MEMORANDUM

Date: May 7, 2021
To: Sheila Sellman, Community Development Director
From: Jason W Cook, P.E.
City Engineer
Subject: Fairway Greens South – Site Plan Review
City of Isanti, MN
Project No.: 0R1.123130

We have reviewed the Site Plan entitled “Fairway Greens South” with a signature date of April 13, 2021. The site includes the construction of 45 single family lots. The submitted plan set includes the extension of city streets and utilities as well as site and storm water pond grading.

Also submitted was a stormwater management plan and modeling dated April 14, 2021.

We have reviewed the submitted documents and have the following comments:

Stormwater Management Plan:

1. Model the existing and proposed 2, 10, and 100yr pond bounce elevations and show in a table.
2. Verify the pond bounce will not rise outside the easements on the existing parcels on the south side of the pond.

Plan Set:

1. Sheet V002:
 - a. Widen utility easement between lots 10 and 11 where sewer and water will be stubbed to the County Road.
 - b. Verify the 100 yr pond elevation will stay within drainage easements along Block 1 lots.
 - c. Change Wendover Street NE name to 12th Avenue NE at midpoint of curve.
 - d. Create new street name for cul-de-sac north of Country Club Road.
 - e. Add NE to Country Club Road name.
2. Sheet C202:
 - a. 100-yr pond elevation appears to spread onto lots 2 and 3 block 1. Revise grading on all lots to hold 100-yr event in easements.
 - b. Show grading on east side of Lots 5-10 Block 2 to prevent stormwater runoff from draining directly into buildings.



3. Sheet C303:
 - a. The end sanitary manhole PSMH-14 shall have a minimum cover over the pipe of 8-feet. Lower the run from Club House Road to the end.
 - i. Verify the new sewer depth does not have sewer service conflicts with the watermain.
4. Sheet C304:
 - a. Extend the watermain to 10 feet from the property line and place temp hydrant on end.
 - b. Move proposed hydrant from STA 21+84 to intersection at approx. STA 20+30.
 - c. Install an invert to the east on SSMH 15 and stub a pipe to 10' from the property line and plug.
5. Sheet C305:
 - a. Stub the trunk 12" sanitary pipe out to the county road along the Lot 10 and 11 property line. Place a manhole in the County Road with a 12-inch plugged invert to the NE. It can reduce down to an 8-inch through the rest of the development, however, it will need to continue to maintain maximum depth to the end of Club House Road NE.
 - b. The existing watermain is a 12-inch. Extend the 12-inch size to the watermain stub out to the county road along the lot 10 and 11 property line. It can reduce down to an 8-inch through the rest of the development.
 - c. Place a hydrant on the end of the stub in the County Road ROW.
6. Sheet C402:
 - a. Add a street sign at the property line of lots 9 and 10 block 2 changing the street name from Wendover Street NE to 12th Avenue NE.
 - b. Extend the existing bituminous trail along CR 5 to the eastern limits of the plat.
7. Sheet C403:
 - a. Add ped ramp into the end cul-de-sac.
 - b. Add cross walk blocks at pedestrian crossing.
 - i. Add advanced crosswalk signage for north bound and south bound traffic for this crossing.
 - c. Add stop bar at stop sign.
 - d. Add No Outlet sign to north of Club House Road NE intersection for permanent cul-de-sac.
 - e. Add street name signs at Club House Road NE intersection as follows:
 - i. 12th Avenue NE with an arrow to the south.
 - ii. New street name to the north called XXXXX Court NE with an arrow to the north.



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Additional Information Needed:

1. Submit geotechnical report and recommended pavement section based on report findings.
2. Submit lighting plan.
3. Submit specifications
4. Submit construction cost estimate
5. Submit wetland delineation and mitigation approvals. Our records indicate the last delineation evaluated by the LGU was over 5 years old and no longer valid.

We recommend requiring the additional submittal documents be submitted for review and approved prior to approval of a development agreement.

Please contact me if you have any questions.

May 3, 2021

City of Isanti
DRM Committee Sheila Sellman



FAIRWAY GREENS SOUTH PLAN REVIEW

Isanti Fire District reviewed the proposed design of Fairway Greens South, in the City of Isanti. Concerns listed below are referenced to applicable Minnesota State Fire Code (MSFC).

- 1) Fire apparatus access is currently limited to one street.
 - a. **D107.1 One- or two-family dwelling residential developments.**
Developments of one- or two-family dwellings where the number of dwelling units exceeds 30 shall be provided with two separate and approved fire apparatus access roads, and shall meet the requirements of Section D104.3.
 - b. **D104.3 Remoteness.**
Where two fire apparatus access roads are required, they shall be placed a distance apart equal to not less than one half of the length of the maximum overall diagonal dimension of the lot or area to be served, measured in a straight line between accesses.

Thank you for your attention to these life safety concerns.

A handwritten signature in black ink, appearing to read "Alan Jankovich".

Alan Jankovich | Fire Chief
Isanti Fire District



MEMORANDUM

TO: Planning Commission

FROM: Ryan Saltis, Community Development Specialist

DATE: May 18, 2021

SUBJECT: Site Plan Review and Conditional Use Permit for Isanti Self-Storage located at 515 1st Ave NW

Request: The applicant, Isanti Self-Storage is requesting Site Plan and Conditional Use Permit (CUP) approval for self-storage facilities located at 515 1st Ave NW.

Overview/Background: The City of Isanti was notified that additional storage units were added around the outside perimeter of the subject site, no permits were applied for prior to construction. Upon further research of the history of the site and original approvals, the units added were not part of the original site plans for the facility. City staff determined that since the site has been altered, a site plan review for the new units is necessary due to the location of the new units, drive aisle width, and other standards set by the Industrial Zoning District. Self-Storage is a conditional use in the I-1 Industrial Park District, the site does not currently have a CUP for what is there now and since the intensity of the site is increasing a Conditional Use Permit is required to operate. City staff met with the applicants on site to look at the units that were added, and take pictures for clarification. There were 32 units added to the site, where 11 are located near the south property line and 21 larger units are located along the west property line.

Analysis of Application: The site plan for the storage units shall comply with the following requirements for the I-1 Industrial Park District:

Setbacks – Principal Building

- Front Yard* There shall be a front yard having a depth of not less than thirty (30) feet between building and the street right-of-way line.
- Side Yard* There shall be two (2) side yards, one on each side of a building. Each side yard shall be not less than fifteen feet in width.
- Rear Yard* There shall be a rear yard not less than thirty (30) feet in depth.

The 11 additional storage units along the south property line will not meet the required side setback of 15 ft and are located within the drainage and utility easement. The other 21 storage units located on the west side of the lot are also located in the drainage and utility easement and are roughly 2 ft from the west property line. These units do not meet the setback requirements. When staff met with the applicant on site, they told staff that the setbacks were met and that the units were not in the drainage and utility easements. If the setbacks are not met a variance is required.

Impervious Surface Coverage

The total ground area covered by all structures and uses (permitted, accessory, and conditional, including parking lots) on the lot shall not exceed seventy-five (75%) percent.

The added storage units were constructed over the only existing grass/landscaped areas on the site and have increased the impervious surface coverage. Class 5 gravel was placed underneath the added storage units around the perimeter of the site, also reducing the amount of green space. The storage units are lofted from the ground to provide drainage for under the units, but the units still increase the overall impervious surface due to rain runoff from these roofs. The site will not meet the 75% maximum impervious surface requirement. If this requirement is not met a variance is required.

Surfacing

All areas devoted for parking space and driveways shall be surfaced with asphalt, concrete, or other surface materials, as approved by the City Engineer, suitable to control dust and drainage. All parking areas shall be designed to control surface runoff to adjacent properties either with curbing or grading techniques.

The drive-thru lanes are currently paved and are roughly 24 ft in width. Class 5 gravel was placed around the perimeter of the site where the storage units are currently located.

Lighting

Any lighting used to illuminate off-street parking areas, signage, or buildings shall be directed away from residential properties and shall meet the standards as stipulated within Section 14 of this Ordinance.

No additional lighting was proposed for the added storage units.

Building Design and Construction

The design and location of the buildings constructed on a lot shall be attractive and shall compliment existing structures and the surrounding natural features and topography with respect to height, design finish, color, size and location.

Exterior building materials include corrugated steel on all sides and the roofs of the storage units. The floors are wooden ribbed planks that are situated on the frame. The proposed new buildings match the existing buildings.



Landscaping. The site shall be landscaped in accordance with an approved landscape plan. All lots shall be sodded with four (4) inches of topsoil. One (1) tree shall be provided for every 10,000 square feet of lot or one (1) tree per fifty (50) feet of road frontage, whichever is greater.

A landscape plan was not included in the submittal. The original development did not include any landscaping. As a new application the Council can require landscaping per City Code.

Self-storage facilities are a Conditional Use and must follow criteria prior to approval. The Planning Commission shall hold a public hearing and consider possible adverse effects of the proposed Conditional Use. The judgment of the Planning Commission shall be based upon, but is not limited to the following factors:

1. The proposed action has been considered in relation to the specific policies and provisions of and has been found to be consistent with the goals and objectives of the Comprehensive Plan, including public facilities and capital improvement plans.

The site is guided Industrial and Self-storage is consistent with industrial development.

2. The proposed action meets the purpose and intent of this Ordinance and the underlying zoning district.

The proposed use is adding additional storage to the site, the additional storage units do not meet the purpose and intent of the ordinance without variances.

3. The establishment, maintenance or operation of the conditional use will promote and enhance the general public welfare and will not be detrimental or endanger the public health, safety, morals, or comfort.

The establishment will not be detrimental or endanger the public.

4. The conditional use will not be injurious to the use and enjoyment of other property within the immediate vicinity for the purposes already permitted; nor substantially diminish or impair property values within the neighborhood.

The conditional use may not diminish or impair surrounding property values as the site is already used as a self-storage facility.

5. The establishment of the conditional use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.

The surrounding areas are already developed and the self-storage facility has been established for the site the request is to add more which shouldn't have an effect on the orderly development and improvement of surrounding property.

6. Adequate public facilities and services are available or can be reasonably provided to accommodate the use which is proposed.

The increase of units does not need additional services.

7. The conditional use shall, in all other respects, conform to the applicable regulations of the district in which it is located.

Some of the zoning criteria is not met for the proposed use. Variances are necessary in order to allow what is proposed.

8. The conditional use complies with the general and specific performance standards as specified by within this Article.

Some of the performance standards are not met and are outlined in this report.

Items for Planning Commission to consider:

As presented the new storage units do not meet setbacks and encroach into the drainage and utility easements. In addition, the impervious surface is over the maximum of 75%. A variance would be required to allow the units to be placed as proposed. A variance shall not be approved unless the variance, is in harmony with the general purposes and intent of the ordinance and is consistent with the Comprehensive Plan and findings are made that failure to grant the variance would result in practical difficulties on the applicant. The practical difficulties are as follows:

- 1) The property owner proposes to use the property in a reasonable manner not permitted by the zoning ordinance.
- 2) The plight of the landowner is due to circumstances unique to the property and has not been caused by the landowner.
- 3) A variance, if granted, will not alter the essential character of the locality.
- 4) Practical difficulties include but are not limited to, inadequate access to direct sunlight for solar energy systems.
- 5) Economic considerations alone do not constitute practical difficulties. The Planning Commission and City Council will need to make the findings based on the above criteria if they want to grant the variance.

Staff Recommendation: Staff recommends denial of the Site Plan and Conditional Use Permit for the additional self-storage facilities. As an alternative staff would support a Conditional Use Permit for the existing buildings/use to bring this property into conformance with the CUP requirements for self-storage.

If the Planning Commission recommends approval, they should state the findings of fact and approve the variance along with the site plan and CUP. Staff suggests the following conditions:

1. If there is additional lighting the designs shall follow requirements in Subdivision 5 Outdoor Lighting Standards of Section 14 of Isanti's City Zoning Ordinances.
2. Remove the large dumpster in the front yard.
3. Work with the Building Official on any permits or other building code requirements

Attachments:

- Site Plans
- Applicant Letter

Exhibit A

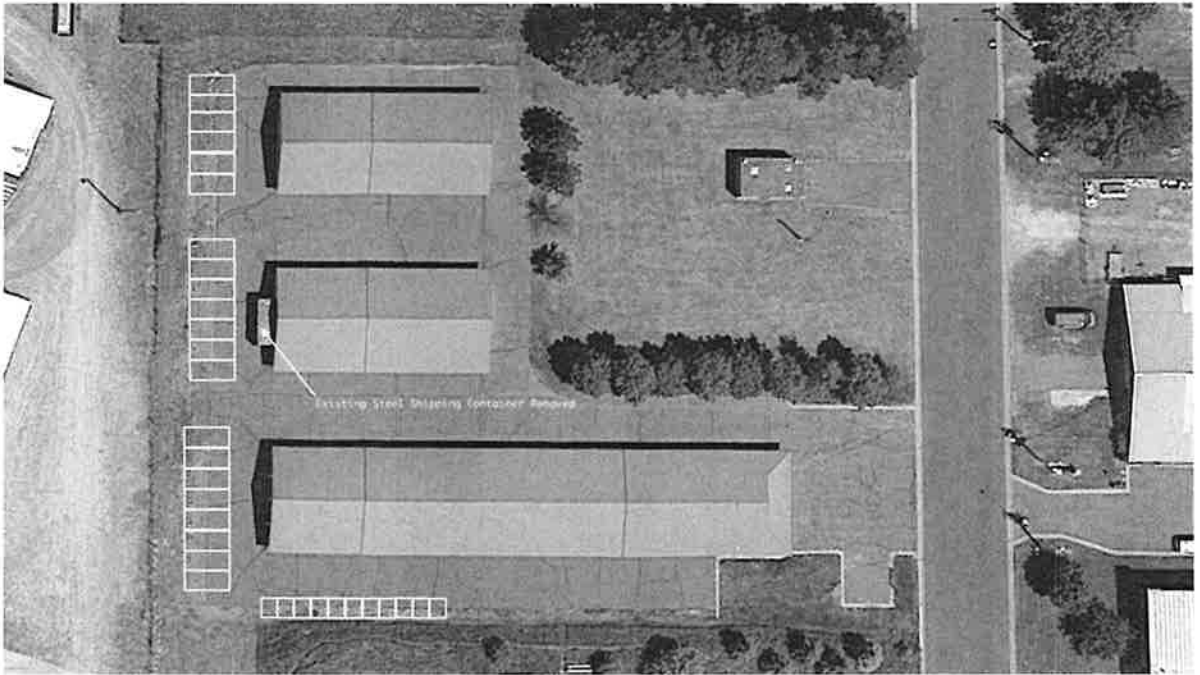
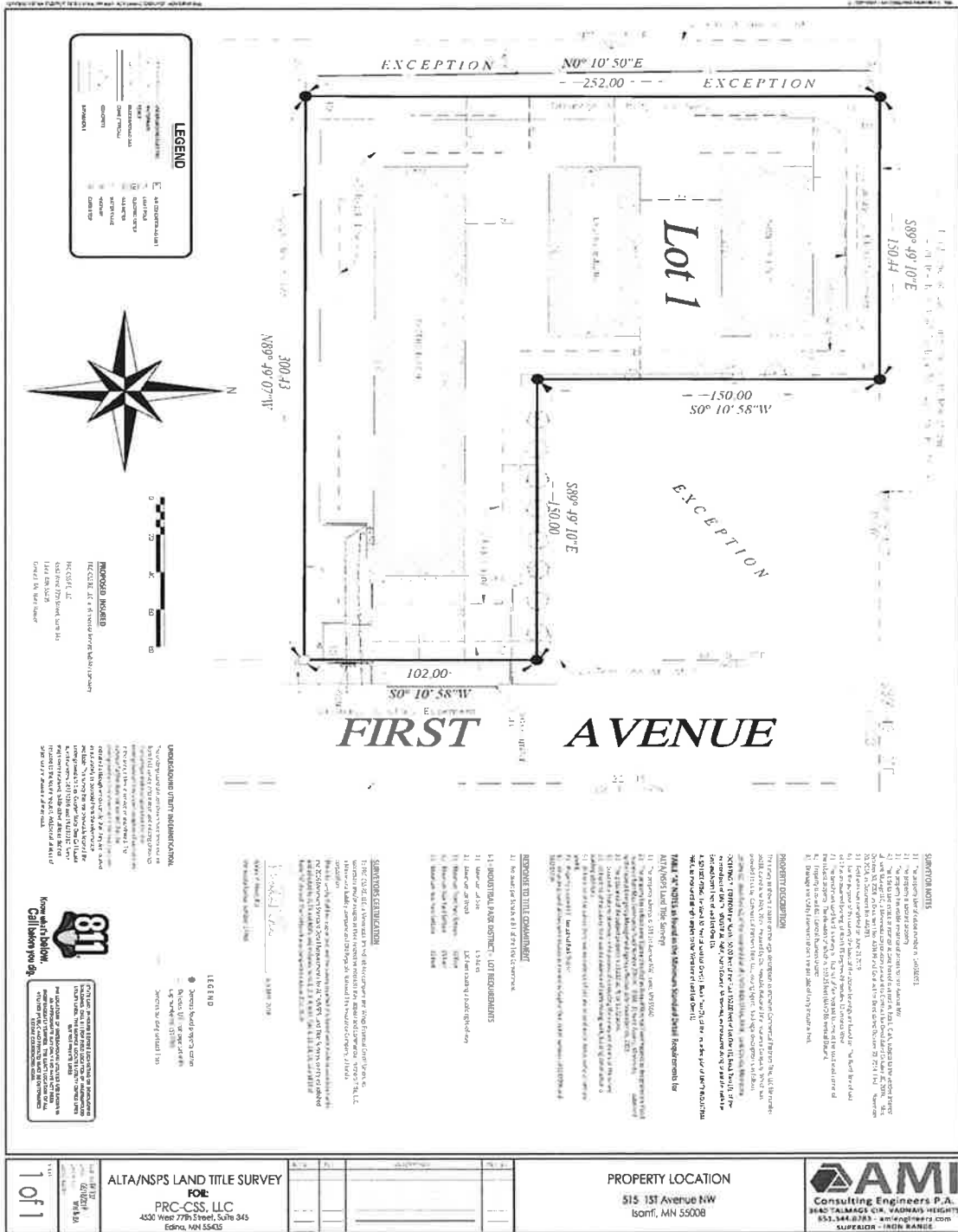


Exhibit B

(Certificate of Survey Containing Legal Description)



April 23, 2021

Isanti City Council
110 1st Avenue NW
Isanti, MN 55040

City of Isanti Planning Commission
110 1st Avenue NW
Isanti, MN 55040

Re: Application for Conditional Use Permit – Parcel Identification No. 16.058.0051

To Members of the Isanti City Council and Planning Commission:

This narrative accompanies PRC-CSS RE, LLC's ("PRC") Application for Conditional Use Permit for real property located at 515 1st Avenue NW, Isanti, Minnesota 55040 with Parcel Identification No. 16.058.0051 (the "Property"). Specifically, PRC requests a Conditional Use Permit ("CUP") to permit the approval of 32 self-storage sheds on the Property. I note that the Property already contains self-storage buildings that were constructed before the City of Isanti (the "City") classified such uses as conditional under the Isanti Zoning Ordinance (the "Ordinance"). The purpose of additional structures is to meet increasing demand of City residents for storage facilities with appealing units that are compatible both with the general intent of the Ordinance and the nature of the surrounding community.

PRC purchased the Property on August 15, 2019 from Isanti Storage, LLC. An aerial photograph of the Property, including the location of the sheds, is attached hereto as Exhibit "A," and a Certificate of Survey as Exhibit "B." At that time, Isanti Storage, LLC had been operating a self-storage facility containing three parallel garages comprised of 80 total units that were leased out to community members to store personal belongings. It is my understanding that Isanti Storage, LLC began using the Property for self-storage purposes prior to the Ordinance characterizing that as a conditional use requiring a permit. As such, the use became a legal nonconforming one when the current version of the Ordinance was enacted. (*See* Ordinance, § 19, subd. 2(A) ("[a]ny established use, building, or lot legally existing which is herein classified in this Ordinance as

requiring a conditional use or interim use permit may be continued in like fashion and activity and shall automatically be considered as having received the necessary permit approvals”). Since acquiring the Property from Isanti Storage, LLC, PRC has continued operating all the Property for self-storage purposes without increasing or altering that use. A copy of the deed conveying the Property to PRC, which evidences PRC’s ownership interest, is attached hereto as Exhibit “C.”

PRC now seeks a CUP that would permit 32 additional storage sheds for purposes identical to that of the existing garages. Twenty-one will be situated along and parallel to the western boundary of the Property and eleven along and parallel to the southern boundary. As such, all these accessory buildings will be located in the Property’s rear and side yards, as required by Ordinance. (Ordinance, § 4, subd. 2(A)(1)(c)). Each of the sheds will be lofted aboveground so as to have minimal effect on drainage within the lot, as water will continue to flow its existing course.

These fully enclosed sheds are stick-framed structures comprised of corrugated steel on all sides and on the roofs. The floors, which is unviewable to the public, are wooden, ribbed planks situated on the frame. Each unit contains a steel door on one side. The sheds’ character and constitution in this regard match those of the nearby garages. Eleven of the sheds are 8-feet by 10-feet in area, and twenty-one sheds are 8-feet by 20-feet. As such, each shed will be less than 200 square feet in area. With the exception of the doors, which are painted green identical to those of the garages, the exteriors of the sheds are painted a beautifully light, earthy brown. The nearby garages are more ivory in color, but the two colors complement one another well.

The demand for self storage in Isanti County is high and continues to rise. The sheds would offer additional units for lease and at a lower cost than the existing garages. The sheds as conceived also provide additional protection to their contents, as the wooden flooring is not as susceptible to moisture and seepage as traditional concrete foundations. The sides and ceiling are resistant to rain and moisture. The location of these sheds will also bolster security on site. Currently the Property is open to the public, though individual units are secured by locks. Placing these additional sheds will restrict unauthorized access from the western and southern boundary lines, neither of which abut a public right-of-way. To this end, PRC has since purchasing the Property installed numerous cameras and light fixtures on the lot to discourage theft and trespassing. Thus, tenants occupying both the existing garages and the sheds have added layers of protection from criminal activity.

I-1 districts authorize self storage facilities as a conditional use. (Ordinance, § 8, subd. 3). The sheds in question qualify as self storage, as they are “a group of buildings with controlled access that contains individual compartmentalized, controlled access stalls or lockers for the storage of a customer’s goods or possession.” (Ordinance, § 2). PRC requests that the City approve its application for CUP to permit these sheds, as their use, constitution, and purpose satisfy the elements justifying that approval.

The sheds will specifically promote and enhance the general welfare by meeting the increasing demand of City residents without sacrificing architectural or aesthetic objectives within the

Comprehensive Plan. The sheds would be compatible with the existing garages and would not present a blight or offensive appearance to the public. The majority will be situated along the western border of the Property, which is furthest from 1st Avenue NW and nearest to an enclosed raceway. These and the sheds along the Property's southern border will be largely out of view from that right-of-way. They would neither detriment nor endanger the public.

Similarly, the additional sheds will not be injurious to the use and enjoyment of other property within the immediate vicinity, nor will they diminish or impair property values in the neighborhood. The proposed use would only expand existing self storage on the Property, so no new or unfamiliar uses will be imposed on the surrounding properties. The sheds produce no noise, noxious odors, or other unseemly byproducts and would impose no additional burden on neighboring properties. The surrounding properties consist of fully enclosed manufacturing or other commercial/industrial uses that would not reasonably experience any hardship from the mere placement of additional structures entirely on the Property. Moreover, the new sheds will not substantially increase foot traffic, as tenants only routinely visit their units and do not regularly spend significant time there.

The use will not impede the normal and orderly development and improvement of surrounding property. All sheds will be situated entirely within the bounds of the Property.

Adequate public facilities and services are available or can be reasonably provided to accommodate the proposed use. The proposed use expands but does not change the existing use, so no additional public facilities or services are needed to meet the needs or demands of tenants.

Because the proposed use is permissible under the Ordinance under a CUP, I respectfully request that the City approve PRC's application for the additional sheds on the Property.

Sincerely,

A handwritten signature in black ink, appearing to read "Nate Hansen", with a horizontal line extending to the right.

Nate Hansen

PRC-CSS RE, LLC



**CITY OF ISANTI
PLANNING COMMISSION MEETING
TUESDAY, June 15, 2021
Immediately following the 7:00 pm City Council Meeting
CITY HALL**

- 1. Meeting Opening**
 - A. Call to Order
 - B. Pledge of Allegiance
 - C. Roll Call
 - D. Agenda Modifications
 - E. Adopt the Agenda

- 2. Meeting Minutes**
 - A. Approval of Minutes from the May 18, 2021 Planning Commission Meeting

- 3. Public Hearing**
 - A. An amendment to City Ordinance 445, Section 13, Article 2, Subd. 21, said request is to allow small wind energy conversion systems in residential zoning districts.

 - B. Request by Image Contracting, LLC for approval of Site Plans under City Ordinance 445 Section 18, said request is for a BP Metals manufacturing and office building located at 825 East Dual Blvd NE.

- 4. Other Business**

- 5. Discussion Items**
 - A. Zoning Code Update

- 6. Adjournment**

CITY OF ISANTI

PLANNING COMMISSION MEETING

TUESDAY, May 18, 2021

Immediately following the 7:00 P.M City Council Meeting;

1. Meeting Opening

- A. Call to Order: Chair Johnson called the meeting to order at 7:12 p.m.
- B. Pledge of Allegiance
- C. Roll Call: Members present: Jeff Johnson, Steve Lundeen, Jimmy Gordan, Paul Bergley, Alexander Collins, Arissya Simon.
Members Absent: Dan Collison
Staff present: Community Development Director Sheila Sellman, Community Development Specialist Ryan Saltis, City Administrator Josi Wood
- D. Agenda Modifications: None

2. Meeting Minutes

- A. Approval of Minutes from the March 16, 2021 Planning Commission Meeting motion by Bergley, second by Collins motion passes 6-0.

3. Public Hearing

- A. Request by Anthony Hanson for approval for a Preliminary and Final Plat under City Ordinance 536, said request is for a development labeled Fairway Greens South located at PID 16.142.0020. Sellman presented the preliminary and final plans for a proposed single family residential housing development called Fairway Greens South. Representatives of the proposed development were present at the meeting and available for questions, Anthony Hanson the land owner and the engineer of the development from LHB Inc. There was a letter that was submitted to City Staff, in which Mayor Johnson read at the meeting that expressed concerns for the development only having one access and the increased amount of traffic that these new houses would bring to the neighborhood. Traffic and safety concerns were also presented by other members of the neighborhood at the public hearing and fire truck access was discussed. The applicant, Anthony Hanson explained that this development extending into a cul-de-sac was already part of the master plans for the Fairway Greens development, and he is simply carrying out these plans for what was already approved. The Planning Commission asked if it was possible to add another street from County Road 5 that would connect to Wendover St NE to possibly mitigate traffic and give an additional access to these houses. Hanson expressed that a lot or two would have to be taken out of the plans to create this road and the development is under a tight budget as it stands. Hanson explained that he would be open to possibly creating a temporary road until the current through road gets completed in the future and then develop these lots. Motion for approval of the preliminary and final plat for Fairway Greens South by Gordon, 2nd by Lundeen,

motion tied 3-3. Members of the audience requested for a reopening of the public hearing due to added responses by the applicant after public hearing was closed. Motion to reopen the public hearing by Gordon, 2nd by Bergley, motion passes 6-0. Two more members of the audience spoke at the public hearing, regarding traffic concerns and future street issues. They asked the Planning Commission to look at the development as a whole in regards to potential numbers of vehicles traveling on the one road. Planning Commission members agreed that they need to consider finding a balance between people's safety, and profit for developers and the community. The motion for a 3-3 tie vote stood with Gordon, Lundeen and Simon voting yay and Johnson, Collison and Bergley voting nay. This motion will be brought to the following City Council Meeting on June 1st, 2021.

- B. Request by Isanti Self-Storage for approval of Site Plans under City Ordinance 445 Section 18 and Conditional Use Permit under City Ordinance 445, Section 21, Article 2, said request is for self-storage facilities located at 515 1st Ave NW.** Saltis presented the Site Plans and Conditional Use Permit for Isanti Self-Storage. The applicants representing Isanti Self-Storage were present at the meeting and available for questions from the Planning Commission members. Larry Kuechle, the property owner to the south of Isanti Self-Storage, explained that he is worried about his property values decreasing, the quality of the units that were built, and that the storage units do not meet setbacks. The applicant, Jon Taxdahl of Isanti Self-Storage explained that they were unaware that they would need building permits for the additional units added around the perimeter of the site and that they were attempting to meet the storage demand for residents in the city. The Planning Commission asked if the drive aisle widths in between storage units would suffice for a fire truck turn around. The applicant explained that it would be able to access the units with a hose but that the drive aisle widths are tight. Luke Merrill also spoke at the public hearing and explained that the self-storage facility is an asset to the community and seems like the structures are built well even if they are temporary. Another representative of Isanti Self-Storage spoke at the public hearing and explained that these units were built with quality materials, and the community is appreciative that the additional units are available. Mayor Johnson closed the public hearing and reiterated that there are not definitive measurements of where the units are located, and could possibly be encroaching on neighboring properties. City Staff told the Planning Commission that they recommend denial for the additional units but would be open to approving a Conditional Use Permit for Self-Storage on site. Variances would be needed at a later time for the location of the units encroaching into the setbacks of the I-1 Zoning District, and for exceeding the 75% impervious surface maximum in the district. Motion to deny the site plans by Lundeen, 2nd by Johnson. This motion was denied with a 2-4 vote. Motion to accept the property as self-storage by Lundeen, 2nd by Bergley, motion carried 6-0. Motion to approve the site plans with a condition to provide a site survey for units on the west side of the property and stay at least 2 ft off the west property line and remove the units on the south side of the property by Gordon, 2nd by Bergley, motion passes 4-2.

5. **Other Business:** None
6. **Discussion Item:** None
7. **Adjournment:** Motion by Bergley, 2nd by Lundeen to adjourn, motion passed 6-0 meeting adjourned at 8:57 p.m.

Respectfully submitted by Ryan Saltis, Community Development Specialist



MEMORANDUM

TO: Planning Commission

FROM: Ryan Saltis, Community Development Specialist

DATE: June 15, 2021

SUBJECT: Ordinance Amending the City Zoning Ordinance, Section 13, Article 2, Subdivision 21: Wind Energy Conversion Systems

Request: Amend City Zoning Ordinance Section 13, Article 2, Subdivision 21: Wind Energy Conversion Systems

Overview/Background: At the May 18th Committee of the Whole the Council directed staff to draft an ordinance to allow small Wind Energy Conservation Systems (WECS) in residential zoning districts. Currently, this Ordinance only allows for WECS in the B-2, I-1, T1-B, and T1-I zoning districts. At COW the Council discussed the size of the wind energy conversion system, noise levels they produce, and energy output.

To allow small WECS in residential districts the current ordinance needs to be amended. The Planning Commission should discuss if this should be a permitted use in residential or a Conditional Use Permit, Currently WECS are a CUP for the commercial and industrial districts. The ordinance for consideration has small WECS as an accessory use in the residential districts and doesn't require a CUP.

Staff Recommendation:

Staff recommends approval of the amendment to the City Zoning Ordinances Section 13, Article 2, Subdivision 21: Wind Energy Conversion Systems

Attachments:

Ordinance XX

ORDINANCE NO. _____

**AN ORDINANCE TO AMEND CITY ZONING CODE, ORDINANCE 445 SECTION 13,
ARTICLE 2, SUBDIVISION 21: WIND ENERGY CONVERSION SYSTEMS**

The City Council of the City of Isanti does ordain:

Section 1 – Amendment. Ordinance 445, Section 13, Article 2, Subdivision 21: Wind Energy Conversion Systems is hereby amended as follows:

Section 13: Non-Residential Use Regulations is amended and replaced with the following:

Subdivision 21: Wind Energy Conversion Systems (WECS)

- C. Applicability. WECS may be allowed as an accessory use in the B-2, I-I, T1-B, and T1-I Districts as a Conditional Use, subject to the provisions and regulations established within this Subdivision. Small WECS may be allowed as an accessory use in the R1A, R-1, R-2, R-3A, and R-3B Districts and shall not require a Conditional Use Permit.

EFFECTIVE DATE:

This ordinance takes effect upon its passage and publication in the official newspaper of the City of Isanti.

Adopted by the Isanti City Council this ____ day of _____, 2021.

Mayor Jeff Johnson

Attest:

Jaden Strand
City Clerk

Posting Date:

CC Reading Date:

Publication Date:

Effective Date:



MEMORANDUM

TO: Planning Commission

FROM: Ryan Saltis, Community Development Specialist

DATE: June 15, 2021

SUBJECT: Site Plan Review for a proposed manufacturing building located at 825 East Dual Blvd NE (BP Metals)

Request: The applicant, Image Contracting LLC is requesting site plan approval for a proposed manufacturing building located at 825 East Dual Blvd NE for BP Metals.

Overview/Background: The applicant proposes to construct a manufacturing building on a 4.86-acre vacant lot located in the Industrial Park District at 825 East Dual Blvd NE. As proposed the building will be on the southeast portion of the parcel while allowing for potential future expansion north and west of the proposed building location. This parcel is currently zoned I-1 Industrial Park District in which “light manufacturing” is a permitted use.

The building is intended to provide custom sheet metal fabrication services in a warehouse setting. The building is proposed to be roughly 9,600 square feet and comprised of an office space of 692 square feet, two bathrooms and open warehouse space of 8,611 square feet. Twenty-six parking stalls are displayed on the site plans, with three of these stalls are designated as handicap accessible.

Analysis of Application: The site plan for the building shall comply with the following requirements for the I-1 Industrial Park District:

Lot Requirements

- Lot Size Minimum .5 acre
- Minimum Width of Lot at ROW 100 ft
- Minimum landscaping 25% of total lot area

The area of the parcel is roughly 4.86 acres in size and exceeds the lot size minimum. The site will meet the minimum width of lot at the Right of Way and minimum landscaping requirements.

Setbacks – Principal Building

- Front Yard Setback 30 feet
- Side Yard Setback 15 feet
- Rear Yard Setback 30 feet

The proposed building will be located roughly 100 ft from the east property lines near East Dual Blvd NE and will meet all required setbacks for the I-1 zoning district.

Impervious Surface Coverage

There shall be a required minimum of twenty-five percent (25%) reservation of the total lot area for landscaping use. A landscaping plan must be submitted to and be approved by the Planning Commission or its designee.

Impervious surfaces on site will include the building, paved asphalt parking lot and driveway surfaces. The landscaping requirement of 25% of the total lot area as green space will be met

Surfacing

All areas devoted for parking space and driveways shall be surfaced with asphalt, concrete, or other surface materials, as approved by the City Engineer, suitable to control dust and drainage. All parking areas shall be designed to control surface runoff to adjacent properties either with curbing or grading techniques.

The parking areas are proposed to be surfaced with standard duty asphalt. There is a proposed temporary gravel driveway around the rear of the building that intends to connect the paved asphalt parking lot and a separate curb cut on East Dual Blvd NE. The gravel driveway is subject to comments from the City Engineer's report dated June 2, 2021. The site plan shows potential future phases (which are not being considered in this review) if the proposed third phase isn't built then the temporary driveway shall be paved.

Curbing

Except for single-family dwellings, two-family dwellings, and townhouses, all parking areas located in the R-1, R-2, R-3, and R-4 as well as B-1, B-2, B-3, CBT, RC, I-1, or S-1 zoning districts must have curb and gutter around the perimeter of the parking lot.

Concrete curbing and gutters will extend around the entire perimeter of the parking lot and paved area on site.

Striping

All parking stalls shall be marked with either yellow or white painted lines not less than four (4) inches wide.

Four-inch-wide yellow striping will be used across the site for designated parking stalls. Two stalls will be striped to indicate no parking for handicap access stalls.

Parking Lot Setbacks

- Front Yard Setback 10 feet
- Rear Yard Setback 10 feet
- Street Side Yard Setback 10 feet
- Side Yard Setback 10 feet

Parking areas on site will meet the required 10-foot setbacks from property lines.

Parking Standards

Number of Required Parking Spaces

The following minimum number of off-street parking and loading spaces shall be provided and maintained:

Industrial Uses

Manufacturing 1.25 spaces for each employee on the major shift or 1 space for each 500 sq/ft whichever is greater

Based on the proposed use 19 parking spaces are required in which one stall be designated as handicap accessible. The site plans show 26 parking stalls, in which three parking stalls are designated as handicap accessible. The site plans meet the required number of parking spaces for the proposed use.

Stall, Aisle and Driveway Design

- A. Except in the case of single-family dwellings, two-family dwellings, and townhouses, parking areas shall be designed so that circulation between parking aisles or driveways occurs within the designated parking lot and does not depend upon a public street or alley, and such design does not require backing into the public street.
- B. Except in the case of single family and two-family dwellings, and townhouses, parking areas shall comply with the following standards

TABLE 9: Parking Lot and Parking Stall Dimensions

Angle of Parking	Stall Width	Curb Length Per Car	Stall Length	Aisle Width One Way	Aisle Width Two Way
90 degrees	9 feet	9 feet	19 feet	26 feet	26 feet

The site features 90-degree parking stalls and will have two-way traffic. Stall dimensions and drive aisle width is not shown on site plans and shall be a condition for site plan approval. The site will have to follow the required stall dimensions of 9 feet in width and 19 feet in length. The drive aisle widths shall be at least 26 feet and meet the requirement for two-way vehicle circulation.

Lighting

Any lighting used to illuminate off-street parking areas, signage, or buildings shall be directed away from residential properties and shall meet the standards as stipulated within Section 14 of this Ordinance.

Outdoor Lighting Standards

- A. Prohibited Lighting: No use or structure shall be operated or occupied as to create light or glare in such an amount or to such a degree or intensity as to constitute a hazardous condition, or as to unreasonably interfere with the use and enjoyment of property with by any person or normal sensitivities, or otherwise as to create a public nuisance.
- B. Minimum Standards: All uses shall comply with the following standards except as otherwise provided in this section:
 - 1. Lighting fixtures shall be effectively shielded and arranged so as not to shine directly on any residential property. Lighting fixtures not of a cutoff type shall be subject to the following:
 - a. Maximum initial lumens generated by each fixture shall not exceed two thousand (2,000) lumens (equivalent to a one hundred fifty (150) watt incandescent bulb).
 - b. Mounting heights of such fixtures shall not exceed fifteen (15) feet.
 - 2. Lighting shall not create a sensation of brightness that is substantially greater than ambient lighting conditions so as to create annoyance, discomfort, or decreased visual performance or visibility.
 - 3. Lighting shall not directly or indirectly cause illumination or glare in excess of one-half (1/2) foot candle measured at the closest residential property line and five (5) foot-candles measured at the street curb line or non-residential property line nearest the light source.
 - 4. Lighting shall not create a hazard for vehicular or pedestrian traffic.
 - 5. Lighting of building facades or roofs shall be located, aimed, and shielded so that light is directed only onto the façade or roof.
 - 6. Lighting shall be maintained stationery and constant in intensity and color, and not be of a flashing, moving, or intermittent type.
 - 7. Business and industrial zoned property must light the trash enclosure areas for the safety of their employees.

An exterior lighting plan was submitted that showed lighting types that are proposed on site and include freestanding light poles and wall mounted sconces. All lighting types proposed are

downlit and are designed to reduce glare. These light sources will meet all criteria listed in Section 14 of the City Zoning Ordinance. Freestanding light poles shall be illustrated on site plans to determine their location to ensure that the foot candles near property lines are being met.

Curb Cuts

There are two curb cuts proposed along East Dual Blvd NE. The curb cut on the south side of the parcel will be paved with asphalt and will direct vehicles into the parking area. There is also a curb cut proposed on the north side of the parcel and will be a temporary gravel driveway that leads vehicles from East Dual Blvd NE around the west side of the building and connects to the paved parking area. These two proposed curb cuts are spaced an adequate distance from each other and comply with City Standards.

Building Design and Construction

- A. The design and location of the buildings constructed on a lot shall be attractive and shall complement existing structures and the surrounding natural features and topography with respect to height, design finish, color, size and location.
- B. Load bearing structural components shall be steel or structural concrete. Other materials of greater strength may be used if expressly allowed by the City Council.
- C. Architecturally and aesthetically suitable building materials shall be applied to, or used on, all sides of all buildings that are adjacent to other existing or future structures or roads. Exterior walls of iron, aluminum, or wood will be permitted only with the specific written approval of the City Council. Exterior walls of masonry, concrete and glass are encouraged. Colors shall be harmonious and compatible with colors of the natural surroundings and other adjacent buildings.
- D. All exterior wall finishes on any building shall be comprised of any one or a combination of the following materials:
 - 1. Face brick
 - 2. Natural stone
 - 3. Glass
 - 4. Specially designed pre-cast concrete units, if the surfaces have been integrally treated with an applied decorative material or texture.
 - 5. Factory fabricated, finished 26 Ga. Metal panel
 - 6. Decorative concrete block approved by the City Council.
 - 7. Architectural metal accent panels, generally with a value greater than pre-cast concrete units, and as specifically approved by the City Council.

8. When material noted in (5) above is used, there shall be a wainscot of material noted in (1), (2.) or (6) above, Wainscot shall be located across a minimum of 50% of the linear perimeter of the building and shall be located where most visible from streets and as specifically approved by the City Council. Minimum wainscot height shall be one-third of the sidewalk height and/or specifically approved by the City Council.
9. Other materials as approved by the City Council and in conformance with existing design and character of the Property.

Exterior building materials include steel roof and siding, and stone around the base of the South and East sides of the building. The exterior siding and stone will be a neutral tan color and will be consistent with will surrounding buildings in the Industrial Park District.

Screening, and Landscaping

A. **Fencing and Screening.** Fencing and screening of the following shall be in accordance with Section 15 of this Ordinance.

1. The ground level view of mechanical utilities shall be completely screened from adjacent properties and streets, or designed to be compatible with the architectural treatment of the principal structure.

Mechanical equipment is not displayed on site plans. If mechanical equipment is on the exterior of the building, site plans shall be altered to show the location of the equipment.

2. External loading and service areas shall be completely screened from the ground level view of adjacent residential and commercial properties, and adjacent streets.

There are no loading and service areas displayed on site plans. A building of this size (under 100,000 square ft) does not require a designated loading area.

3. When abutting or directly across the street from a Residential District, a fencing and/or screening is required.

The site does not abut a residential area.

5. Light from automobile headlights and other sources shall be screened when adjacent to a residential district.

Site does not surround a residential area. Small shrubs are proposed around the whole perimeter of the parking areas to screen vehicle headlights.

Landscaping

Non-Residential Requirements: In addition to the general requirements noted, properties located within non-residential districts, shall be subject to the following regulations:

Minimum Landscaping Requirements. All open areas of a lot which are not used or improved for required building areas, parking areas, building expansion areas, drives, sidewalks, storage, or similar hard surface materials shall be landscaped with a combination of sod, overstory trees, understory trees, shrubs, flowers, ground cover materials and/or other similar site design features or materials in a quantity acceptable to the City.

Maintenance of Landscaping. The owner, tenant, and their respective agents shall be responsible for the maintenance of all landscaping provided on the parcel(s) in a condition presenting a healthy, neat, and orderly appearance; free from refuse and debris. Plants and ground cover that are required by an approved site or landscape plan and which have died shall be replaced within three (3) months from receipt of notification by the City. The time for compliance may be extended to nine (9) months, due to seasonal weather conditions.

Soil Requirements. A minimum of four (4) inches of topsoil shall be provided upon all lots.

Turf Requirements. All areas disturbed by new construction or not covered by established lawn or turf shall be sodded. Those areas to be maintained as natural areas as provided for within a developer's agreement or any wetlands that may be located on the property are exempt from this provision. The Building Official may waive this requirement upon inspection of the property.

Tree Requirements.

- a. Landscaping shall provide for an appropriate mix of plantings around the exterior footprint of all buildings. Landscaping shall improve the appearance of the structure and break up large unadorned building elevations. Plantings are not intended to obscure views of the building or accessory signage.
- b. Where undeveloped or open areas of a site are located adjacent to a public right-of-way, the plan shall provide for deciduous trees. A minimum of one (1) tree per fifty (50) feet of street frontage is required. The City may approve an alternative if such alternative appears to meet the intent of this article.
- c. In addition to deciduous and coniferous trees; shrubs, ornamental trees, perennials and annual flowers and bulbs as well as ornamental grasses and ground cover shall be used to compliment the landscape plan.
- d. Trees shall be of varying species and shall be in accordance with the City Tree Lists, as presented within the Section. If four (4) or more trees are used, the trees shall be of at least three (3) different species. If seven (7) or more trees are planted, trees shall be of at least four (4) different species. Other types of trees not listed on the City Tree Lists may be permitted at the discretion of City Staff.

The landscaping plan proposes to include small plantings along the perimeter of the proposed parking area. Twenty-four (24) overstory trees are proposed around the entire parcel. The City Landscaping Ordinance requires that the site have at least 9 trees based on the lot frontage calculation (1 tree per 50 ft of lot frontage) and the proposed amount of 24 trees will meet this standard. There are no tree and planting species listed on the

plans, any trees or plantings installed on the site shall be consistent with the City Tree List. Sod shall be planted on all areas not disturbed by new construction or not already covered by established lawn or turf.

Refuse and Trash Receptacle Enclosures

- B. Trash Dumpsters and Garbage Receptacles Required: All new uses and buildings in all zoning districts, with the exception of the “R-1”, “R-2”, and “R-3A” Districts; shall have trash dumpsters or garbage receptacles provided on the parcel or lot and be adequately screened and enclosed. The location of trash dumpsters and garage receptacles shall be approved during the site plan approval process.
- C. Standards for Trash Enclosures: Trash dumpsters and garbage receptacles shall be screened from all lot lines and public roadways, in accordance with the following provisions:
 - 1. The screening devices shall be designed so that they are architecturally harmonious with the principal structures on the site and shall meet the requirements as specified in Section 15 of this Ordinance.
 - 2. Trash enclosures shall be lit.
 - 3. Trash enclosures shall be of an adequate size to accommodate all refuse and recyclables.
- D. Enclosure and Receptacle Maintenance Required: Fencing and landscaping for trash dumpsters and garbage receptacles shall be maintained in good condition and shall be kept litter-free at all times.

The trash receptacle is proposed to be located in the parking area near the four parking stalls to the southwest of the building. The receptacle does not appear to be enclosed, fenced or screened. The trash receptacle/enclosure shall follow the regulations set in Section 14, Subdivision 3 of the City’s Zoning Ordinances and shall be enclosed. The trash enclosure shall also be illuminated for the safety of employees.

Signs

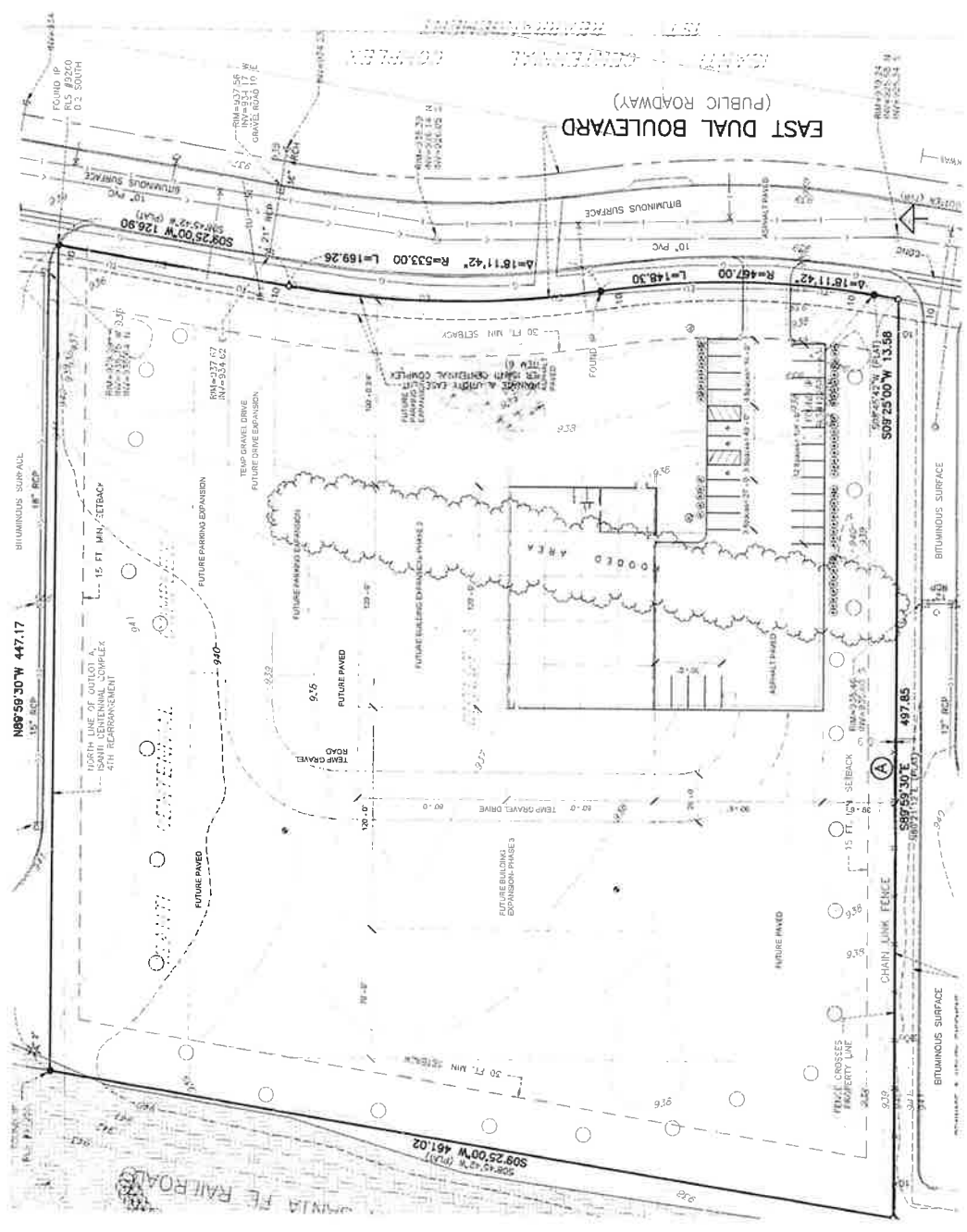
Signs will need to be applied for separately from the site plans. All signs will need to follow criteria listed in Section 16 of the City’s Zoning Ordinances. Permits will be needed for approval of location and dimensions determined at a later date.

Staff Recommendation: Staff recommends approval of the proposed BP Metals manufacturing building located at 825 East Dual Blvd NE with the following conditions:

1. Location of freestanding light poles shall be shown on site plans and approved by staff
2. Mechanical equipment shall be screened from public right-of-way
3. Trash receptacle shall be enclosed and illuminated
4. All signs shall require a sign permit when applicable to determine dimensions and locations and shall follow Section 16 of the City's Zoning Ordinances
5. Plant and tree species shall follow the landscaping requirements in Section 15, Subdivision 5 of the City's Zoning Ordinances and be shown on the landscape plan and be approved by staff
6. Applicant shall apply for all permits associated with the building including but not limited to a building permit, mechanical permit, plumbing permit, electrical permit, and sewer and water hookup.
7. All conditions/comments listed in the City Engineer's memo dated 6/2/2021 shall be addressed

Attachments:

- Site Plans, Floor Plans and Exterior Elevations
- City Engineer's Memo Dated 6/2/2021



② Site Plan
 1" = 30'-0"

GENERAL NOTES:

- A. SEE COIT FOR FIRE RATED WALLS AND DOOR
- B. SEE A001 FOR DOOR SCHEDULE INFORMATION
- C. SEE A01 FOR ROOM FINISH SCHEDULE
- D. SEE A02 FOR ROOM FINISH SCHEDULE SECTIONS
- E. WATER SPOCKETS SHALL HAVE SHUT OFF VALVES AT MECHANICAL ROOMS.

INSPIRE ARCHITECTS
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 Suite 108
 Circle Pines, MN 55014
 Jeff Heffernan
 763-807-1044
 jeff@inspirearchitects.com

LORENZ CONCRETE
 2851 Durbin St NE
 Minneapolis, MN 55418
 Larry Fredlund
 763-732-3548
 larry.fredlund@lhco.com

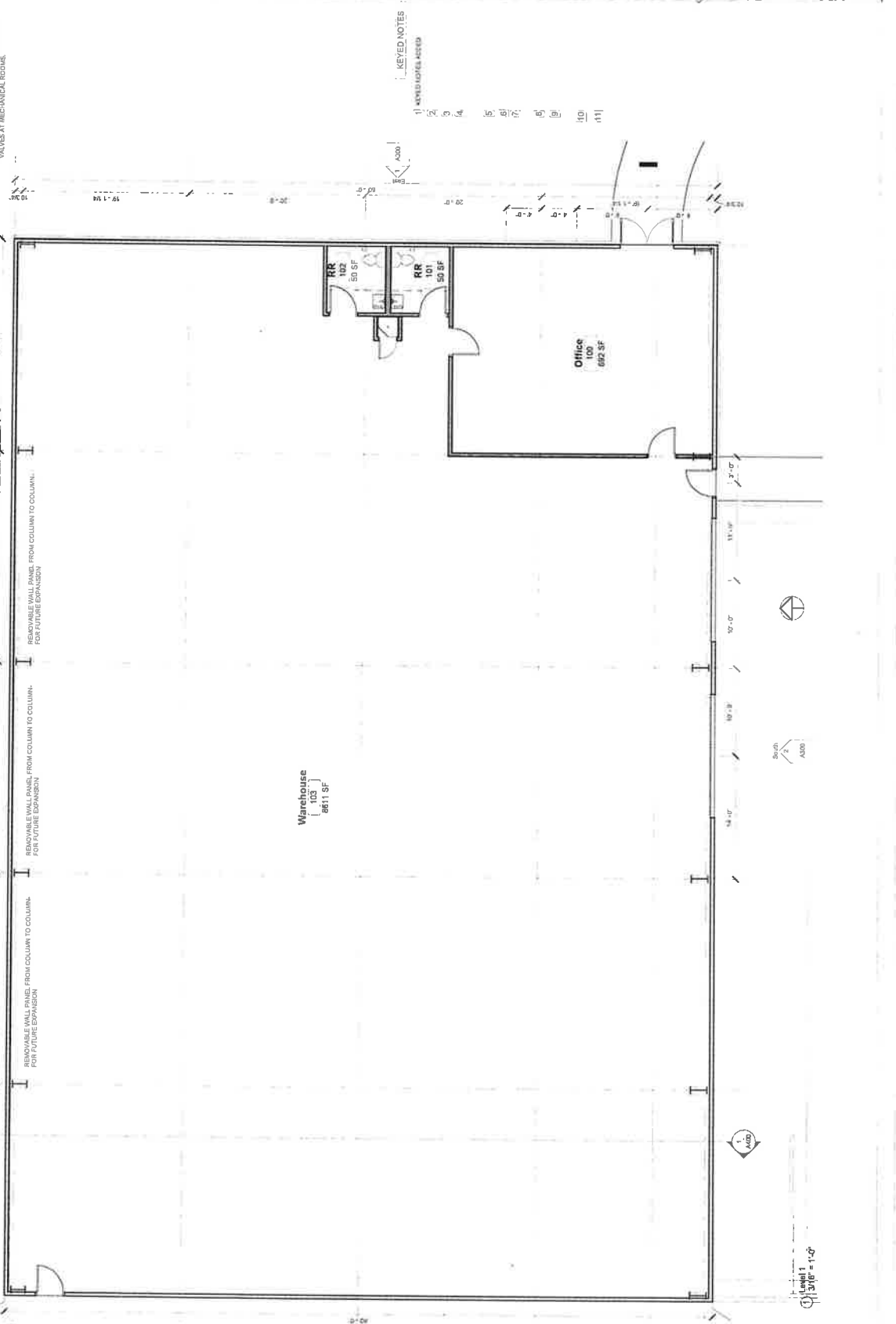
BP Metals LLC
 825 E Dahl Blvd
 Inver Grove Heights, MN 55040

PRELIMINARY
 NOT FOR CONSTRUCTION

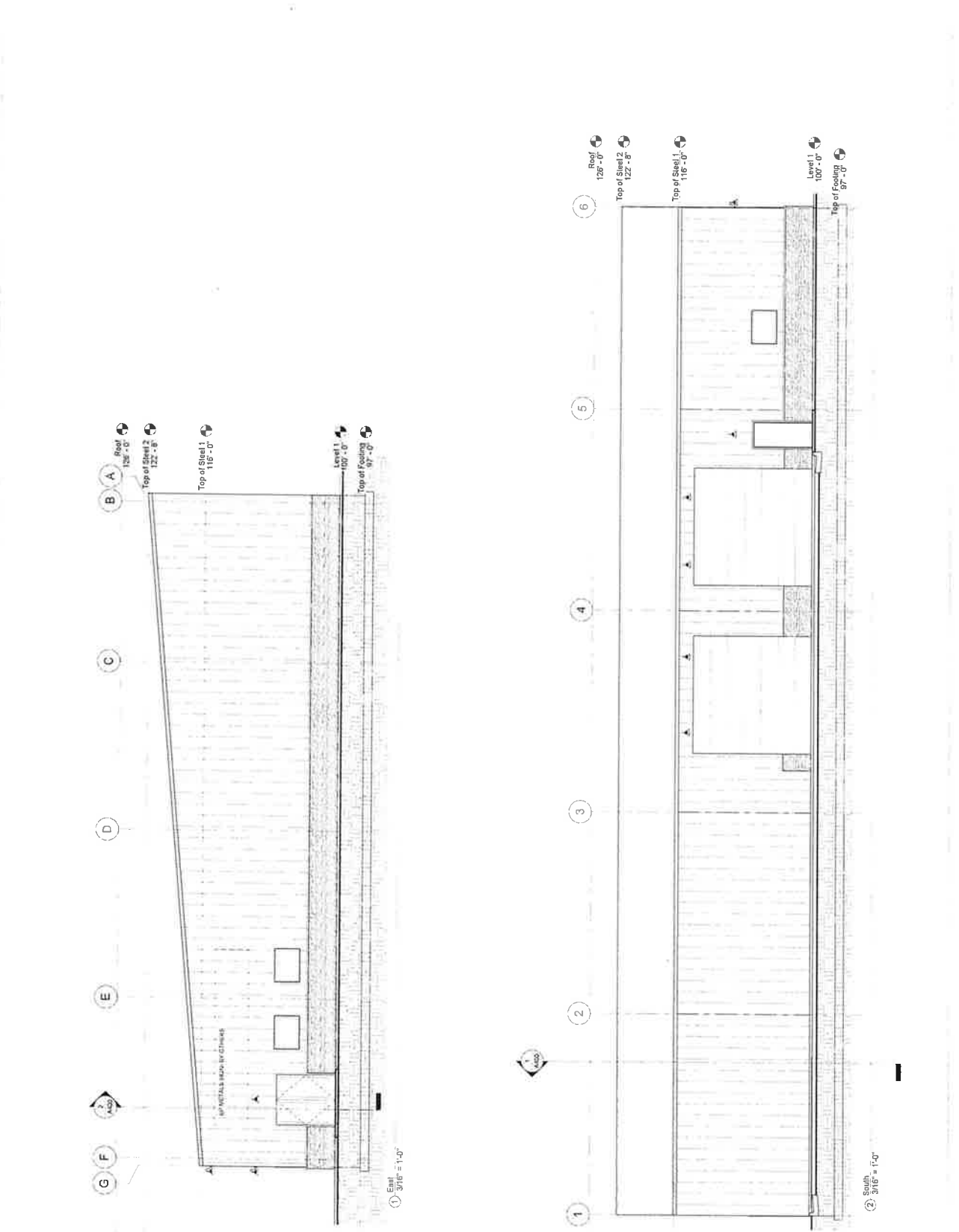
DATE: 7/20/16
 PROJECT NO: 2016-31
 SHEET NO: A100

Plans

1) KEYED NOTES
 2) 3) 4) 5) 6) 7) 8) 9) 10) 11)



1) Level 1
 1/8" = 1'-0"



① East 3/16" = 1'-0"
 ② South 3/16" = 1'-0"

① East 3/16" = 1'-0"
 ② South 3/16" = 1'-0"

Inspire Architects
 820 Civic Heights Dr
 Suite 109
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 Jeff Heilbrunn
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 jeff@architectna.com

Design
 Larry Redlund
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 larryredlund@vvhoo.com

LORENZ CONCRETE LSF
 28351 Durant St NE
 Isanti, MN 55040

CAMBRIDGE MN

BP Metals LLC
 825 E Dahl Blvd
 Harris, MN 55040

REPORT WAS PREPARED BY VC
 ENGINEER AND ARCHITECT
 SUPERVISOR AND CHARTERED
 ENGINEER AND REGISTERED PROFESSIONAL
 ENGINEER IN THE STATE OF MINNESOTA

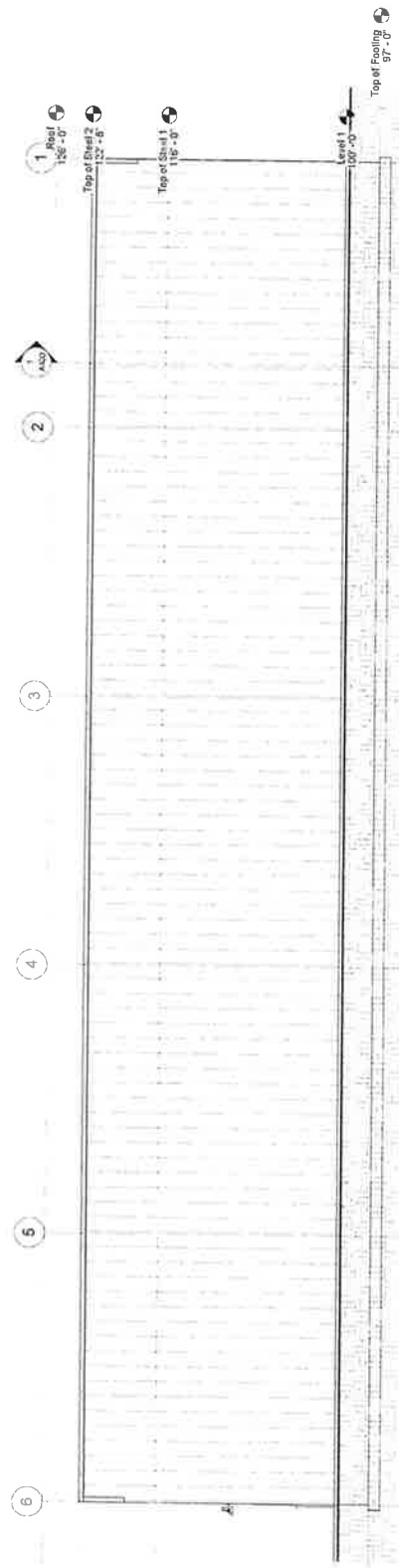
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 TIME: 12:22
 PROJECT NO.: 2016-31
 SHEET NO.: A301

DATE: 7/20/16
 AUTHOR: 7/20/16
 CHECKER: 7/20/16

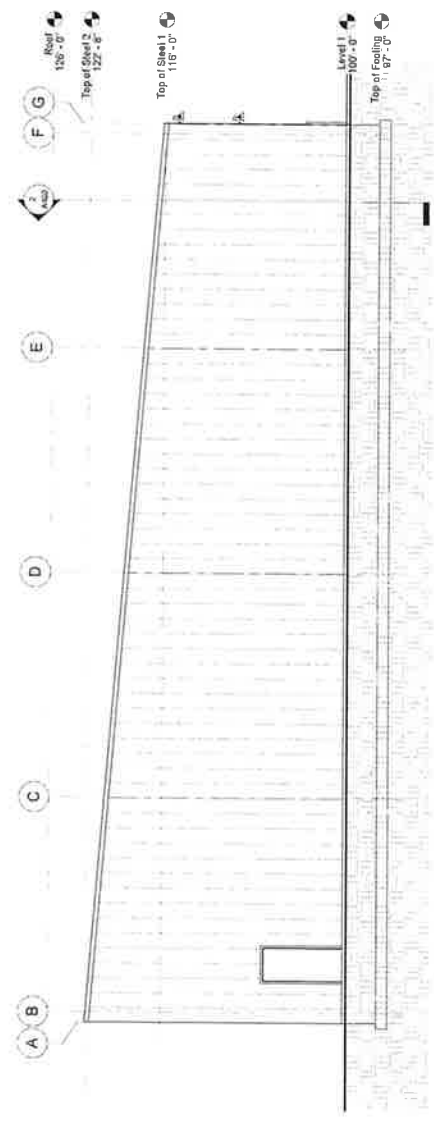
DATE: 11/15/2021
 TIME: 12:22
 PROJECT NO.: 2016-31
 SHEET NO.: A301

Elevations

PRELIMINARY
 NOT FOR CONSTRUCTION



① North
 3/16" = 1'-0"



② West
 3/16" = 1'-0"

Inspire Architects
 820 Civic Heights Dr
 Suite 105
 Oak Park, MN 55914
 Jeff Hammerman
 763-807-1044
 jh1@architectsmn.com

LORENZ CONCRETE
 LSF
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 2831 Duane St NE
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 Larry Freidlund
 763-732-3548
 larry.freidlund@lshco.com

BP Metals LLC
 825 E Duane Blvd
 Minneapolis, MN 55404

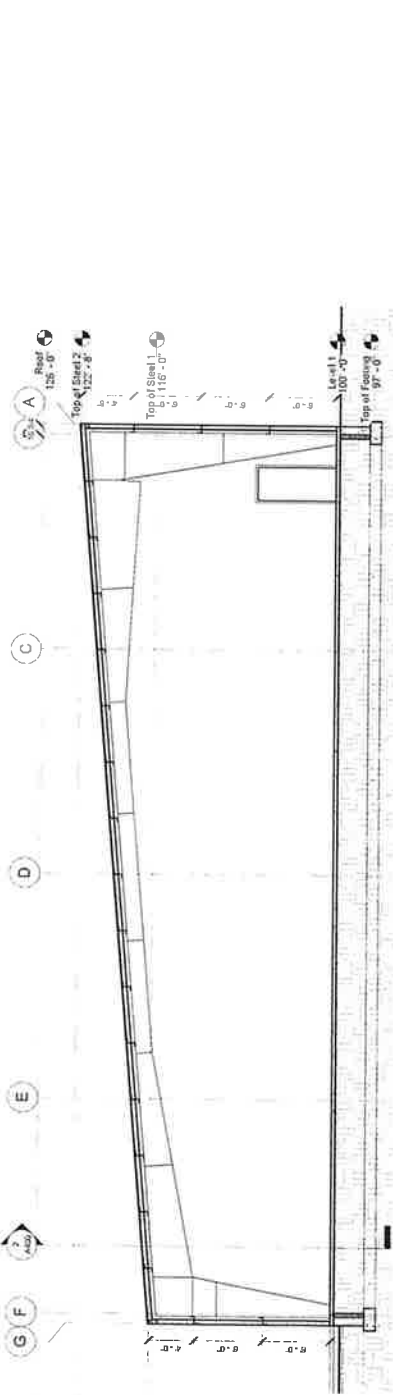
PLEASE NOTE THAT THIS
 DRAWING WAS PREPARED BY AN
 ARCHITECT AND NOT AN ENGINEER.
 IT IS THE USER'S RESPONSIBILITY
 TO OBTAIN NECESSARY ENGINEERING
 SERVICES AND PROFESSIONAL
 SEALS FOR ANY STRUCTURAL
 REQUIREMENTS IN THE STATE OF MINNESOTA.

DATE: 3/16/2021
 TIME: 12:27

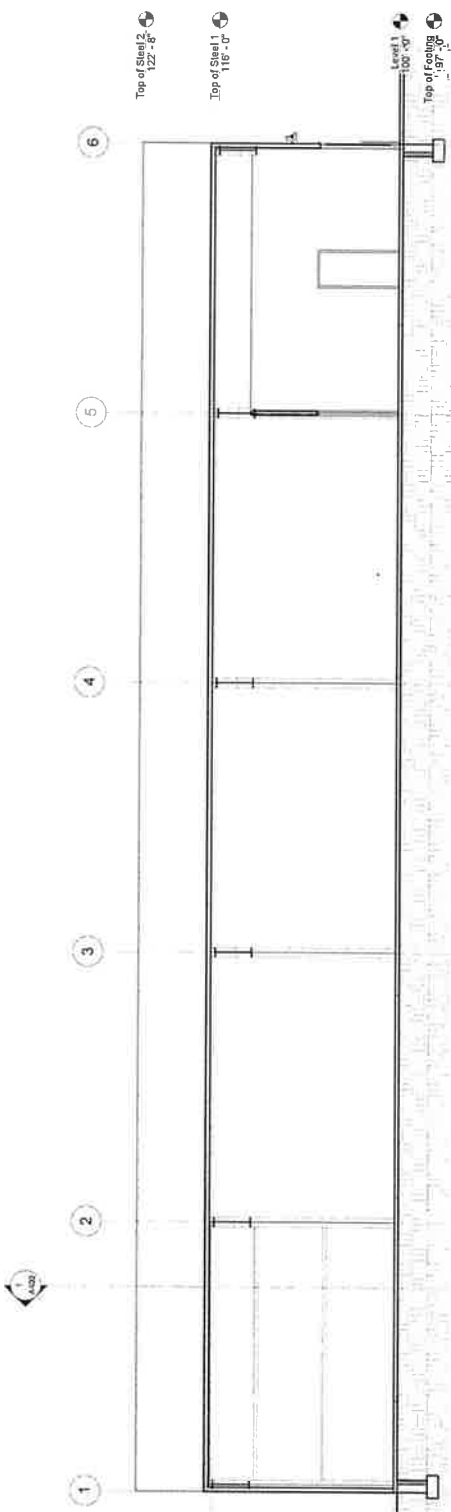
Building Sections

PRELIMINARY
 NOT FOR CONSTRUCTION

Checkered
 Author
 7/2016
 DATE
 PROJECT NO
 2016-31
 SHEET NO
A400



① Section 1
 3/16" = 1'-0"



② Section 2
 3/16" = 1'-0"



Real People. Real Solutions.

7533 Sunwood Drive NW
Suite 206
Ramsey, MN 55303-5119

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Fax: [763] 427-0833
Bolton-Menk.com

MEMORANDUM

Date: June 2, 2021
To: Sheila Sellman, Community Development Director
From: Jason W Cook, P.E.
City Engineer
Subject: BP Metals – Site Plan Review
City of Isanti, MN
Project No.: 0R1.123130

We have reviewed the Site Plan and supporting documents entitled “BP Metals” with a date of May 19, 2021.

The plan includes the construction of a new building, parking lot, pond, and storm sewer system.

An existing and proposed stormwater model was also submitted.

We have reviewed the submitted documents and have the following comments:

Site Plan:

1. Sheet C3 Erosion & Sediment Control Plan:
 - a. Add inlet protection at the next 2 downstream catch basins along the street.
 - b. Change the silt fence line type so it can be clearly seen vs the property line.
 - c. Show construction limits, and turf restoration plan.
 - d. There are 24 circles that appear to be manholes around the south, west and north sides of the site. What are these? They show up on multiple pages.
 - e. Submit SWPPP as over 1 acre of surface will be disturbed.
 - f. No plantings allowed in the infiltration basin.
2. Sheet C5 – Civil Site Plan:
 - a. No future layout linework will be reviewed as submitted. Those expansions will need to be submitted in the future for full plan review.
 - b. Temp gravel driveway appears to go through existing telephone pedestal and existing catch basin.
 - c. The gravel driveway will need a 5-foot concrete apron with wings if this is allowed to be installed.
 - d. Construct valley gutter through both proposed entrances.
 - e. Label stall depth, width, and drive lane width. Meet city standards.



- f. The street patch section if needed shall be:
 - i. 1.5-inches of bituminous wear course
 - ii. 2-inches of bituminous non-wear course
 - iii. 8-inches of aggregate base class 5
3. Sheet C6 – Grading Plan:
- a. It appears water will be trapped on the west side of the grading limits.
 - b. What is the plan with the hole created in the NE corner of the property? Why is this not the pond location?
 - c. All proposed infiltration basins need to have 3 feet of separation from the pond bottom to the ground water level. The outlet apron on the east side of East Dual Boulevard is under water at elevation 934.23 so the pond bottom most likely won't be able to be below 938.
 - d. All proposed infiltration basins will need to have a soil boring to determine the water table, and a percolation test to determine infiltration rate.
 - e. Show the EOF spot elevation for the proposed pond.
 - f. Show spot elevations on the proposed curb, with grades, and gutter in or out designations.
 - g. Show percent slope on the pavement surface and sidewalk.
 - h. Show spot elevation in the pavement at highpoint between inlets. This highpoint cannot be above 939.8 to allow 1 foot freeboard to building finished floor. It appears it is currently above 940.
 - i. A 939 contour on the south side of the site appears to be missing. Verify no water will be trapped on the south property line.
 - j. Submit pond maintenance plan.
4. Sheet C7 – Utility Plan:
- a. A 6" PVC sanitary sewer service is already stubbed to the property line. See attached record drawing. Connect to this service, as opposed to cutting into the street.
 - b. The storm sewer inverts appear to be at or near the groundwater level. This does not allow room for infiltration.
 - c. The detail on the outlet control structure is hard to read. Please provide a clearer detail and specifically a detail on the outlet control trap shown in the detail.

Stormwater Modeling:

1. Submit subcatchment maps for the existing and proposed models.
2. Use Atlas-14 storm event modeling. Revise and resubmit.
3. Existing subcatchment areas are not defined by property lines. Include off site runoff draining onto the site. This cannot be blocked off and must be included in the modeling.



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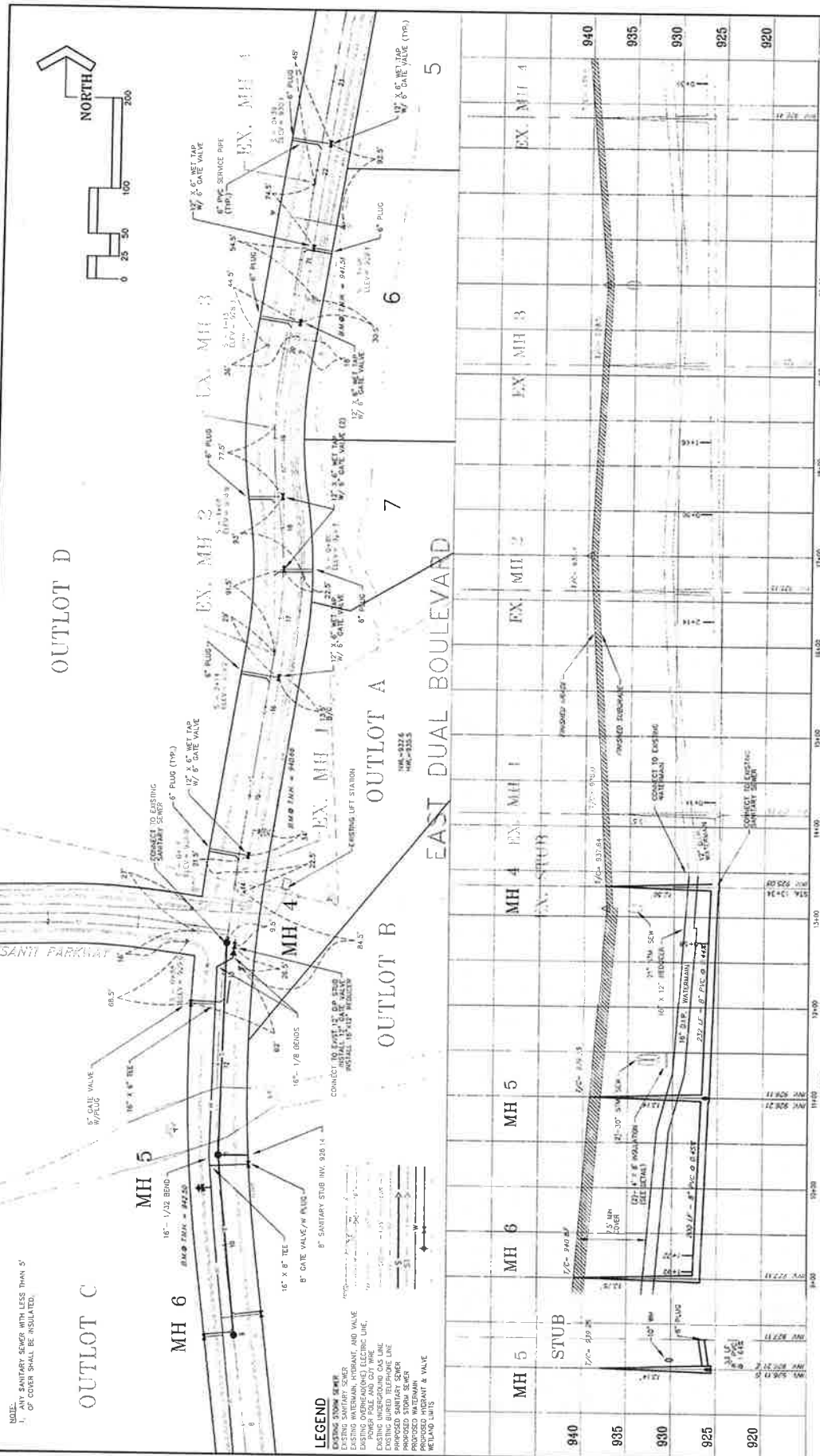
7533 Sunwood Drive NW
Suite 206
Ramsey, MN 55303-5119

Ph: (763) 433-2851
Fax: (763) 427-0833
Bolton-Menk.com

4. Existing runoff does not appear to leave the site. From historical records it appears the site was originally supposed to discharge into a regional 18" culvert that has since been blocked off from the north. Given this pipe capacity and percentage of the drainage area going to this location, we can allow the 100-yr storm event to discharge **2.27 cfs** into the existing CB proposed to be connected to. The model currently appears to show 6.12 cfs.
5. Verify ground water will be over 3-feet below the bottom of all proposed infiltration basins. Provide geotechnical report showing this and have percolation tests completed to determine infiltration rate. Revise model as needed. Correct soil to not exceed maximum allowed infiltration rates.

We recommend approval of the site plan once the above items are addressed.

Please contact me if you have any questions.



NOTES:
 1. ALL SANITARY SEWER WITH LESS THAN 5' OF COVER SHALL BE INSULATED.

LEGEND:
 EXISTING STORM SEWER
 EXISTING SANITARY SEWER
 EXISTING WATER MAIN AND VALVE
 EXISTING OVERHEAD (OR) ELECTRIC LINE
 PROPOSED 12" P.V.C. PIPE
 PROPOSED 18" P.V.C. PIPE
 PROPOSED 24" P.V.C. PIPE
 PROPOSED 30" P.V.C. PIPE
 PROPOSED 36" P.V.C. PIPE
 PROPOSED HYDRANT & VALVE
 MOUND LUMS

CONTRACTOR: HYDROCON, INC. RECORD PLAN: 2004

Sheet Title: Utility Plan & Profile

Project: 2003 Centennial Industrial Park Street & Utility Improvements

Client: City of Isanti

Scale: 1" = 20'

DATE: 3/20/03

NO.	DATE	BY	REVISION

MFRA
 McComb Firm Associates, Inc.

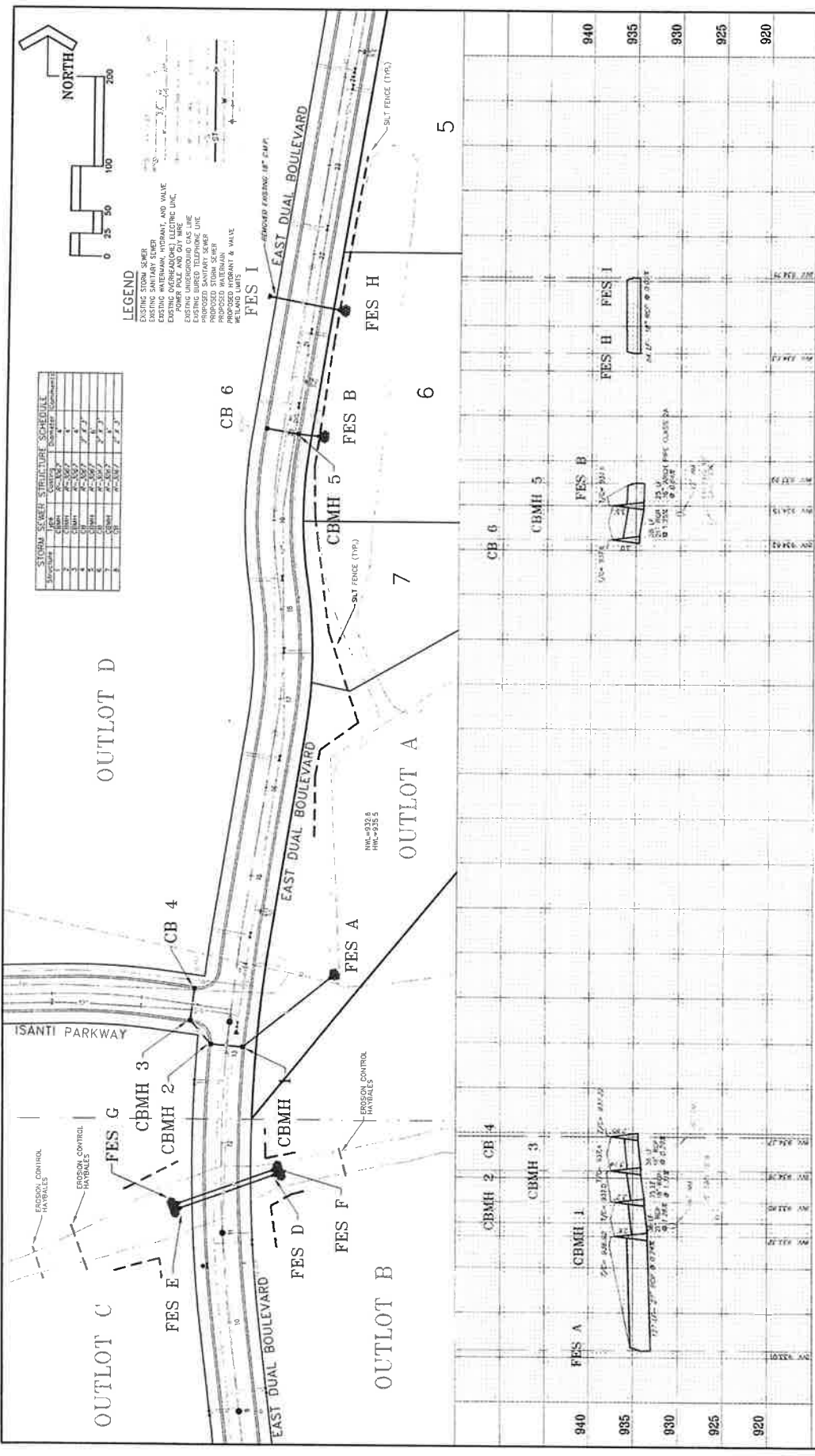
Engineering • Planning • Surveying
 1050 2nd Army Ave. S. Plymouth, MN 55441
 phone: 763-454-1000 • fax: 763-454-3322
 e-mail: info@mfra.com

City of Isanti
 Isanti, MN

8/19/03

8/19/03

MFRA FILE NO: 10356



STORM SEWER STRUCTURE SCHEDULE

STRUCTURE	MANHOLE	CONCRETE	DIAMETER	DEPTH
FES A	18" x 18"	CONCRETE	36"	4'-0"
FES B	18" x 18"	CONCRETE	36"	4'-0"
FES C	18" x 18"	CONCRETE	36"	4'-0"
FES D	18" x 18"	CONCRETE	36"	4'-0"
FES E	18" x 18"	CONCRETE	36"	4'-0"
FES F	18" x 18"	CONCRETE	36"	4'-0"
FES G	18" x 18"	CONCRETE	36"	4'-0"
CBMH 1	36" x 36"	CONCRETE	36"	4'-0"
CBMH 2	36" x 36"	CONCRETE	36"	4'-0"
CBMH 3	36" x 36"	CONCRETE	36"	4'-0"
CBMH 4	36" x 36"	CONCRETE	36"	4'-0"
CBMH 5	36" x 36"	CONCRETE	36"	4'-0"
CBMH 6	36" x 36"	CONCRETE	36"	4'-0"
CB 1	36" x 36"	CONCRETE	36"	4'-0"
CB 2	36" x 36"	CONCRETE	36"	4'-0"
CB 3	36" x 36"	CONCRETE	36"	4'-0"
CB 4	36" x 36"	CONCRETE	36"	4'-0"
CB 5	36" x 36"	CONCRETE	36"	4'-0"
CB 6	36" x 36"	CONCRETE	36"	4'-0"

LEGEND

- EXISTING STORM SEWER
- EXISTING SANITARY SEWER
- EXISTING OVERHEAD ELECTRIC LINE
- EXISTING OVERHEAD TELEPHONE LINE
- PROPOSED SANITARY SEWER
- PROPOSED STORM SEWER
- PROPOSED MANHOLE
- PROPOSED WATER MAIN
- PROPOSED VALVE
- PROPOSED HYDRANT
- PROPOSED UTILITY
- PROPOSED SUT FENCE (TYP.)
- PROPOSED SUT FENCE (TYP.)

NOTES:

1. ALL DIMENSIONS UNLESS OTHERWISE NOTED.
2. INDICATED CONCRETE PIPES TO BE CLASS 5, UNLESS NOTED OTHERWISE.
3. ALL STRUCTURES TO BE CONSTRUCTED IN ACCORDANCE WITH THE MFRS STANDARD SPECIFICATIONS FOR SEWER AND WATER MAINS.
4. ALL STRUCTURES TO BE CONSTRUCTED IN ACCORDANCE WITH THE MFRS STANDARD SPECIFICATIONS FOR SEWER AND WATER MAINS.
5. ALL STRUCTURES TO BE CONSTRUCTED IN ACCORDANCE WITH THE MFRS STANDARD SPECIFICATIONS FOR SEWER AND WATER MAINS.

Revisions

No.	Date	By	Remarks
1	11/19/03	J. H. HANSEN	ISSUED FOR PERMITS
2	11/19/03	J. H. HANSEN	ISSUED FOR RECORD
3	11/19/03	J. H. HANSEN	ISSUED FOR CONSTRUCTION

CONTRACTOR: HYDROCON, INC. RECORD PLAN: 2004

Client: City of Isanti, MN
Isanti, MN

Project: 2003 Centennial Industrial Park Street & Utility Improvements
Isanti, MN

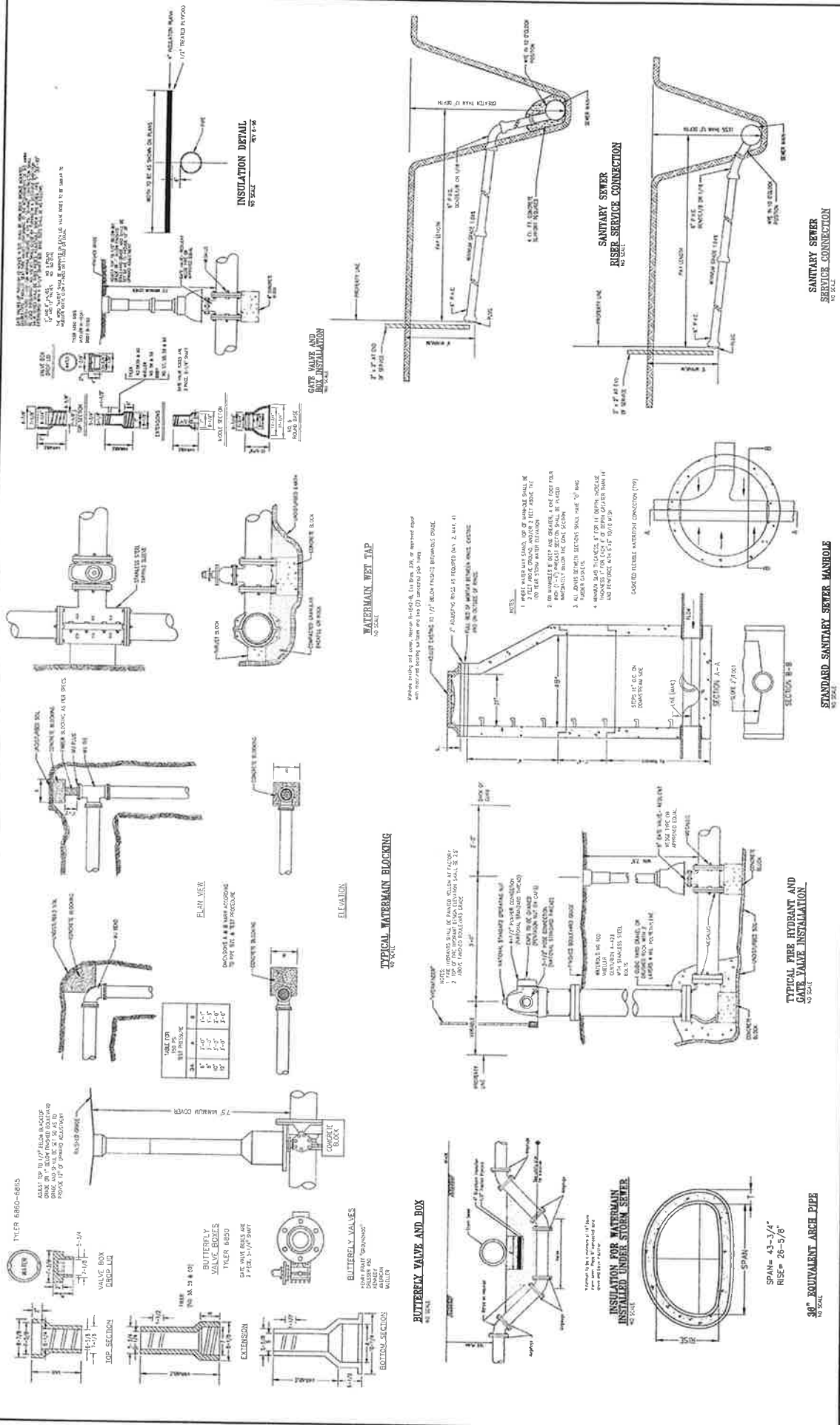
Sheet Title: Storm Sewer Plan & Profile

Sheet: 11 / 19 A
Revision: A

MFRS FILE NO.: 13938

MFRA
Minnesota Franchise Association, Inc.

Engineering • Planning • Surveying
1500 7th Avenue North, Suite 200, Minneapolis, MN 55412
Phone: 763-781-1111 Fax: 763-781-1112
E-mail: info@mfra.com



Revisions

No.	Date	By	Remarks

Sheet 13/19
Revision MFRFA FILE NO: 13393

Project Title
Details

Project
 2003 Centennial Industrial Park
 Street & Utility Improvements
 Isanti, MN

Client
 City of Isanti
 Isanti, MN

Engineering • Planning • Surveying
 15609 24th Avenue North, Brainerd, Minnesota 55117
 Phone 763/478-6000 • Fax 763/478-6517
 E-Mail: info@mfrfa.com

MFRFA
 Microfit Research
 Architects, Inc.

Scale
 Designed: 1/8" = 1'-0"
 Checked: 1/8" = 1'-0"
 Approved: 1/8" = 1'-0"

Date
 3/7/03 License: F. 10206



**CITY OF ISANTI
PLANNING COMMISSION MEETING
TUESDAY, July 20, 2021
Immediately following the 7:30pm Budget Work Session
CITY HALL**

- 1. Meeting Opening**
 - A. Call to Order
 - B. Pledge of Allegiance
 - C. Roll Call
 - D. Agenda Modifications
 - E. Adopt the Agenda

- 2. Meeting Minutes**
 - A. Approval of Minutes from the June 15, 2021 Planning Commission Meeting

- 3. Public Hearing**
 - A. Request by Isanti Self-Storage for Variances under City Ordinance 445, Section 21, Article 5, said request is to allow storage units to encroach within the 30-foot rear setback requirement of the I-1 Zoning District, and for the site to exceed 75% maximum impervious surface, located at 515 1st Ave NW.

 - B. Request by Wolf River Electric Co. for Site Plan approval under City Ordinance 445 Section 18 request is for an office warehouse building located at PID 16.124.0020

- 4. Other Business**

- 5. Discussion Items**

- 6. Adjournment**

CITY OF ISANTI

PLANNING COMMISSION MEETING

TUESDAY, June 15, 2021

Immediately following the 7:00 P.M City Council Meeting;

1. Meeting Opening

- A. Call to Order: Chair Johnson called the meeting to order at 7:26 p.m.
- B. Pledge of Allegiance
- C. Roll Call: Members present: Jeff Johnson, Steve Lundeen, Jimmy Gordan, Paul Bergley, Dan Collison, Arissya Simon.
Members Absent: Alexander Collins
Staff present: Community Development Director Sheila Sellman, Community Development Specialist Ryan Saltis
- D. Agenda Modifications: None
- E. Adopt the Agenda
Motion to adopt the agenda by Lundeen, second by Collison motion passes 6-0.

2. Meeting Minutes

- A. Approval of Minutes from the May 18, 2021 Planning Commission Meeting motion by Lundeen, second by Simon motion passes 6-0.

3. Public Hearing

- A. An amendment to City Ordinance 445, Section 13, Article 2, Subd. 21, said request is to allow small wind energy conversion systems in residential zoning districts. Sellman explained the ordinance amendment request to allow for small wind energy conversion systems in the R-1A, R-1, R-2, R-3A, and R-3B zoning districts. Currently wind energy conversion systems are allowed only in the B-2, I-1, T1-B, and T1-I Districts as a Conditional Use. Staff requested that these small wind energy conversion systems be allowed as an accessory use in residential zoning districts without a conditional use permit. There was no one from the public present at the public hearing to speak on the topic. Motion for approval of the ordinance amendment by Lundeen, second by Bergley, motion passed 6-0.
- B. Request by Image Contracting, LLC for approval of Site Plans under City Ordinance 445 Section 18, said request is for a BP Metals manufacturing and office building located at 825 East Dual Blvd NE. Saltis presented the Site Plans for a proposed BP Metals Manufacturing Building in the Isanti Industrial Park. The applicants representing BP Metals and Image Contracting were present at the meeting and available for questions from the Planning Commission members. The Planning Commission asked if BP Metals was planning to keep their Blaine location in addition to this proposed Isanti location. Blake Pendzimas from BP Metals explained that they are looking to keep their Blaine location for the time being, with potential to

expand the Isanti location in the future. The Planning Commission also asked about the number of employees that would be working at the facility in which the applicant explained that there would be 3 shifts of 15 or more employees per shift and the facility will be open 24 hours per day. There was no one from the public present at the public hearing to speak on this item. Motion to approve the site plans with conditions listed in the staff report and City Engineer's Memo dated 6-2-2021 by Lundeen, 2nd by Simon, motion passes 6-0.

5. Other Business: None

6. Discussion Items:

A. **Zoning Code Update** Community Development Director Sellman explained to the Planning Commission that staff will be working on updating the City's Zoning Ordinances in a full review. Changes made to the Zoning Ordinances will be brought to a future Planning Commission meeting for approval.

7. Adjournment: Motion by Lundeen, 2nd by Bergley to adjourn, motion passed 6-0 meeting adjourned at 7:42 p.m.

Respectfully submitted by Ryan Saltis, Community Development Specialist



MEMORANDUM

TO: Planning Commission

FROM: Sheila Sellman, Community Development Director

DATE: July 20, 2021

SUBJECT: Request by Isanti Self-Storage for Variances under City Ordinance 445, Section 21, Article 5, said request is to allow storage units to encroach within the 30-foot rear setback requirement of the I-1 Zoning District, and for the site to exceed 75% maximum impervious surface, located at 515 1st Ave NW.

Request: The Owner's of Isanti Self-Storage are requesting variances to allow storage units to encroach within the 30-foot rear setback requirement of the I-1 Zoning District, and for the site to exceed 75% maximum impervious surface, for property located at 515 1st Ave NW.

Overview/Background

In April, staff was notified that additional storage units were added around the outside perimeter of the subject site, no permits were applied for prior to construction. Upon further research of the history of the site and original approvals, the units added were not part of the original site plans for the facility. City staff determined that since the site has been altered, a site plan review for the new units is necessary. Self-Storage is a conditional use in the I-1 Industrial Park District, the site does not currently have a Conditional Use Permit (CUP) for the three original buildings. Adding the new units increases the intensity of the site trigger the CUP requirement.

City staff met with the applicants on site to look at the units that were added, and take pictures for clarification. There were 32 units added to the site, where 11 are located near the south property line and 21 larger units are located along the west property line. In May the applicant applied for site plan approval and a CUP; however, the plans were not clear and setbacks were not identified. The Council approved the CUP to allow self-storage on the site (for the existing buildings), but determined that a variance is necessary for the location of the new units and exceeding the impervious surface maximum. The Council also directed the applicant to remove the units on the south property line. At the time this memo was drafted those units are still along the southern property line.

The applicant has made application for a variance. The variance is to the rear setback requirements of 30 feet and the impervious maximum of 75%. The submitted plans show 9 units along the rear (west) property line with a 9-foot setback, the setback minimum for this district is 30 feet. The impervious maximum allowed in the Industrial district is 75% which is 39,907 square feet for the subject site, as shown on the site plan approximately 50,000 square feet of the lot is impervious (the total lot area is 53,210 square feet). Additional pavement has been installed, without approval. The greenspace in the southeast corner has been paved as well as pavement between the strips of the new containers on the west side. The green space on

the west side of the property (now paved and partial gravel) functioned as runoff treatment prior to the water sheeting off the existing the parking lot and leaving the site. The City Engineer recommends this area be returned to the prior state. In addition, a portion of the containers are located in the drainage and utility easement, structures are not allowed in drainage and utility easements unless they are approved in that location and can easily be moved. A storage unit with content is not easily moved, nor was it approved. The City Engineer recommends the containers not be in the easement.

The Fire Chief provided a memo and sited that structures used for storage shall be 10 feet from the property line.

The Building Official has determined that a building permit is required for each structure. A separate building permit is required for each structure. The structures do not currently meet the work exempt from permit rule found in the MN State Building Code Chapter 1300.0120 Subp. 4. A. (1). The structures are not considered “accessory” and are part of the principal nature and use of the business and property.

Construction plans shall be submitted along with the building permit application to indicate compliance with the applicable current MN State Building Codes. The plans shall ensure that the structures comply with floor and roof loads (dead and live) and wind design (including uplift). Plans shall also include the type of construction, including the exterior walls as some of the exterior walls may be required to be fire-resistance rated per Table 602 in the MN State Building Code. All applicable fire codes shall apply and be reviewed as part of the building permit.

In review of the standards established within Section 21 Administration and Enforcement, Article 5 Variances, Subdivision 4 Procedures (D), the following conclusions have been made (*conclusions to each requirement are shown in italics*):

An application for a variance shall not be approved unless the variance, if permitted, is in harmony with the general purposes and intent of the ordinance and is consistent with the Comprehensive Plan and findings are made that failure to grant the variance would result in practical difficulties on the applicant. Practical difficulties used in connection with the granting of a variance, means that the property owner meets all of the following criteria:

- A. The property owner proposes to use the property in a reasonable manner not permitted by the zoning ordinance. *Self-storage facilities are a Conditional Use in the Industrial Park zoning district. The subject site does not currently have a Conditional Use Permit (CUP) and is considered legally non-conforming for that use. A CUP has been applied for and has been approved for the use, not the site plan and not for the increased storage units. The site is maxed out with the existing storage facilities and is over on impervious already. The proposed addition of 9 more units is not reasonable use of the property as stated it is already maxed out with the existing structures.*
- B. The plight of the landowner is due to circumstances unique to the property and has not been caused by the landowner. *This property is not unique and the circumstances are directly caused by the owners.*
- C. A variance, if granted, will not alter the essential character of the locality. *Granting a variance for setbacks and impervious surface does alter the essential character of the locality. The additional units are out of place and inconsistent with the area's greenspace and impervious coverage.*
- D. Practical difficulties include but are not limited to, inadequate access to direct sunlight for solar energy systems.

Not applicable.

- E. Economic considerations alone do not constitute practical difficulties.
Economic considerations alone are the only reason for this variance request. The applicant has not demonstrated any other hardship, the need is purely for their economic gain.

Staff Recommendation:

Staff recommends denial of the variance request. The findings of fact to approve a variance are not met. The applicant paved more of their lot without consulting the city and have increased their impervious surface and are now impeding runoff from their site based on this action. The applicant added the additional storage units without consulting the city or pulling any building permits. Had they consulted staff they wouldn't have spent time and money on the units because they would not be allowed. There is no hardship or practical difficulty to grant these variances.

If the Planning Commission would like to grant the variances, findings of fact will need to be made by the Commission at the meeting as part of the recommendation for City Council.

If the recommendation is to approve the following conditions should be added to the recommendation:

1. A building permit for each structure shall be applied for
2. The units along the southern lot line shall be removed by September 1, 2021
3. The units shall be moved out of the drainage and utility easement
4. The owner shall address runoff issues as identified by the City Engineer
5. The variance is limited to the 9 units shown on the site plan
6. The applicant shall record the variance with the County

Attachments

- Letter from the Applicant
- Site Plan
- Memo from City Engineer
- Memo from Fire Chief
- League of Minnesota Cities Informational Memo

June 25, 2021

City of Isanti
Attn: Sheila Sellman
110 1st Ave NW
Isanti, MN 55040

**RE: Isanti North Self Storage, 515 First Avenue Northwest, Isanti, MN 55040
Parcel Identification Number 16.058.0051**

Ms. Sellman,

Enclosed with this letter, please find a Variance Application from PRC-CSS RE, LLC ("PRC"), the owner of the Property located at 515 First Avenue Northwest, Isanti, Minnesota 55040 ("Property").

Following the Planning Commission meeting on Tuesday, May 18, 2021, we began to collaborate with City Staff to develop a new plan to create larger setbacks, removing the existing buildings on the southern property line, and minimizing any disruption to the residents of Isanti who currently rent from Isanti Self Storage.

Attached to this application is an updated site plan which outlines the proposed location of the additional storage sheds and their dimensions. These fully enclosed sheds are stick-framed structures comprised of corrugated steel on all sides and the roofs. The floors, which are unviewable to the public, are wooden, ribbed planks situated on the frame. Each unit contains a steel door on one side. The sheds' character and constitution in this regard match those of the nearby garages. With this application, we are proposing nine sheds that are 8-feet by 20-feet. A diagram of the storage sheds with dimensions has been provided to staff. The additional storage sheds at Isanti Self Storage are located on the western part of the Property and do not limit the enjoyment or diminish the value of the neighboring properties.

Isanti Self Storage is a locally owned storage facility that has been operating in Isanti since 1992. The additional storage sheds are an essential component of our business. Outside of being viewed positively by all renters, the additional property taxes, the storage sheds generate approximately \$2,000 in sales tax per year.

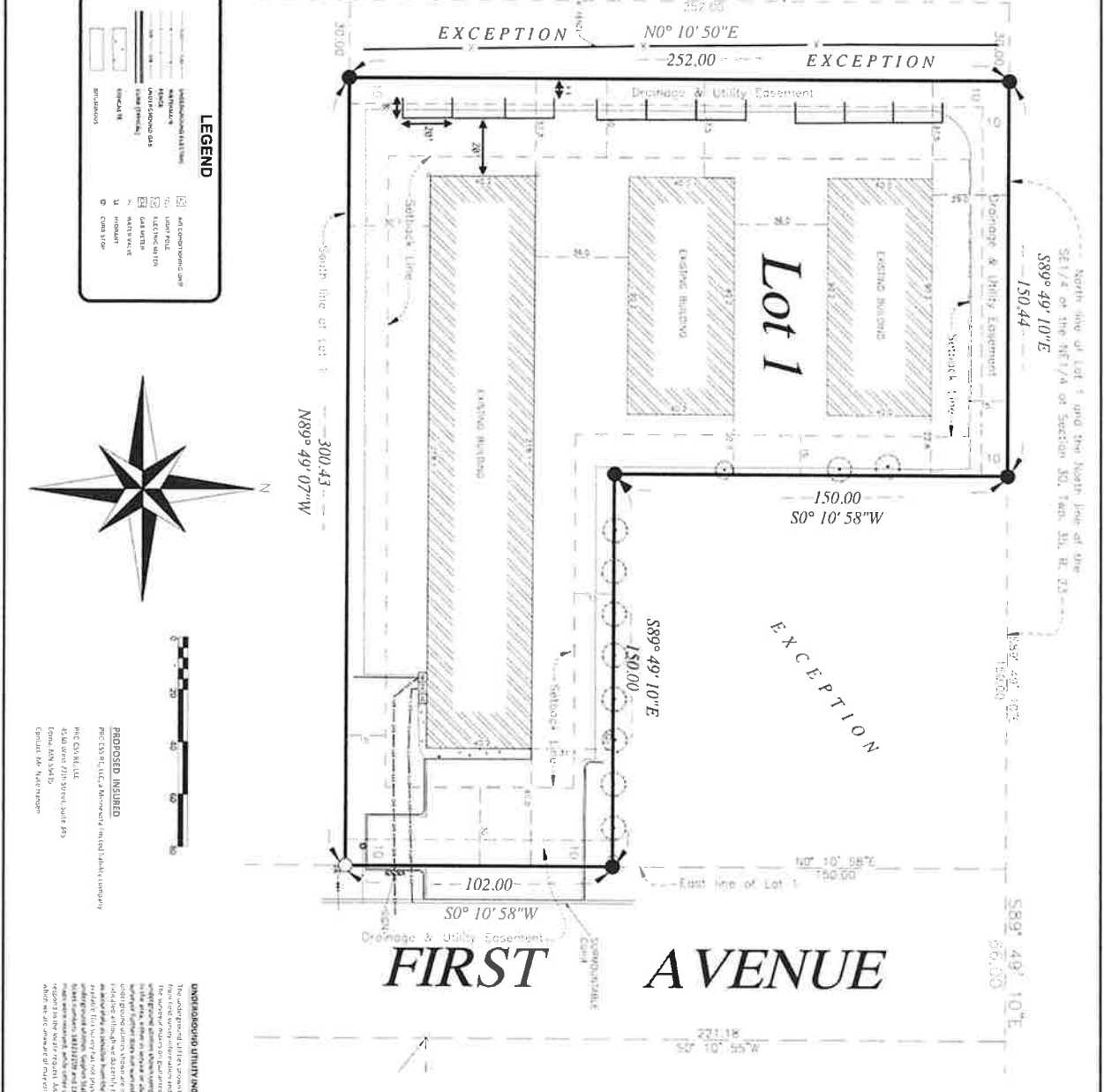
With this application, we ask for a variance to have the additional storage sheds be within 9' feet of the western property line. If the variance is approved, PRC will work with City Staff to relocate the additional storage sheds on the Property to adhere to the approved variance.

Thank you for your consideration.

Sincerely,



Jon Taxdahl
PRC-CSS RE, LLC



UNDEVELOPED UTILITY INDICATIONS:

The undeveloped utility easements shown on this plan have been located by the surveyor in accordance with the provisions of Minnesota Statutes, Chapter 562B, Section 03.01, and are shown as dashed lines. The location of these easements is based on the surveyor's visual inspection and the information provided by the owner. The surveyor does not warrant the accuracy of the location of these easements.

PROPERTY DESCRIPTION

The work is shown on the legal description as follows: (Certificate of Survey No. 11020073)

- 1) The property is a parcel of land in the County of Hennepin, State of Minnesota, containing approximately 0.05 acres, more or less, as shown on the attached plat.
- 2) The property is a parcel of land in the County of Hennepin, State of Minnesota, containing approximately 0.05 acres, more or less, as shown on the attached plat.
- 3) The property is a parcel of land in the County of Hennepin, State of Minnesota, containing approximately 0.05 acres, more or less, as shown on the attached plat.
- 4) The property is a parcel of land in the County of Hennepin, State of Minnesota, containing approximately 0.05 acres, more or less, as shown on the attached plat.
- 5) The property is a parcel of land in the County of Hennepin, State of Minnesota, containing approximately 0.05 acres, more or less, as shown on the attached plat.
- 6) The property is a parcel of land in the County of Hennepin, State of Minnesota, containing approximately 0.05 acres, more or less, as shown on the attached plat.
- 7) The property is a parcel of land in the County of Hennepin, State of Minnesota, containing approximately 0.05 acres, more or less, as shown on the attached plat.
- 8) The property is a parcel of land in the County of Hennepin, State of Minnesota, containing approximately 0.05 acres, more or less, as shown on the attached plat.
- 9) The property is a parcel of land in the County of Hennepin, State of Minnesota, containing approximately 0.05 acres, more or less, as shown on the attached plat.

TABLE "A" NOTES as found in the Minimum Standard Detail Requirements for AT&M/S Land Title Surveys

- 1) The property address is 515 1st Avenue NW, Isanti, MN 55040.
- 2) The survey was prepared by the firm of Consulting Engineers P.A., a Minnesota limited liability company and Minnesota Professional Engineer, who was duly licensed and registered in the State of Minnesota on 01/01/2019.
- 3) The survey was prepared in accordance with the Minimum Standard Detail Requirements for AT&M/S Land Title Surveys, published by the Minnesota Board of Surveyors and Geomatics Engineers, effective November 01, 2013.
- 4) Substantial features observed in the project including the survey were shown on the survey.
- 5) At the time of the survey there was no evidence of any other survey, building, construction, or other work on the property.
- 6) All other items of the survey were as shown on the attached plat.
- 7) All other items of the survey were as shown on the attached plat.
- 8) All other items of the survey were as shown on the attached plat.
- 9) All other items of the survey were as shown on the attached plat.

RESPONSE TO TITLE COMMITMENT

- 1) Address per Schedule B of the Client Order

1A - INDUSTRIAL PARK DISTRICT - LOT REQUIREMENTS

- 1) Minimum lot size: 0.5 Acres
- 2) Minimum lot width: 50 feet including a public right of way
- 3) Minimum lot depth: 100 feet
- 4) Minimum lot area: 50,000 sq. ft.
- 5) Minimum lot width: 30 feet

SURVEYOR CERTIFICATION

I, PRC-CSS, LLC, a Minnesota limited liability company and Minnesota Professional Engineer, do hereby certify that I am duly licensed and registered in the State of Minnesota on 01/01/2019, and that I am the author of the survey shown on this plat. I have read the survey and the information provided by the owner, and I have found that the survey is in accordance with the Minimum Standard Detail Requirements for AT&M/S Land Title Surveys, published by the Minnesota Board of Surveyors and Geomatics Engineers, effective November 01, 2013. I have also read the survey and the information provided by the owner, and I have found that the survey is in accordance with the Minimum Standard Detail Requirements for AT&M/S Land Title Surveys, published by the Minnesota Board of Surveyors and Geomatics Engineers, effective November 01, 2013.

LEGEND

- Existing boundary corner
- Proposed 1/2" iron pipe set with cap (minimum 12" deep)
- Dashed line indicating utility

Know what's Below. Call before you dig.

811

811 is a free, 24-hour service that allows you to report underground utility lines before you dig. This helps prevent accidents, injuries, and property damage. For more information, visit www.811.com.



Real People. Real Solutions.

7533 Sunwood Drive NW
Suite 206
Ramsey, MN 55303-5119

Ph: (763) 433-2851
Fax: (763) 427-0833
Bolton-Menk.com

MEMORANDUM

Date: July 12, 2021
To: Sheila Sellman, Community Development Director
From: Jason W Cook, P.E.
City Engineer
Subject: Isanti Self Storage – Container Site Layout Review
City of Isanti, MN
Project No.: 0R1.123130

We have reviewed the site plan layout regarding the addition of self-storage containers along the west of the site as submitted on June 25, 2021.

We have reviewed the submitted document and performed a site visit and have the following comments:

1. Additional pavement has recently been placed on the site. The green space in the southeast corner has been paved as well as pavement between the strips of containers on the west side of the site.
 - a. The pavement and gravel should be removed and returned to green space.
 - i. This pavement and gravel work was not authorized and exceeds the impervious area maximums on the site.
 - ii. The green space that is supposed to exist on the west side of the property functioned as runoff treatment prior to the water sheeting off the existing parking lot and leaving the site.
2. The containers are connected into large strips and once the containers are full, it would be extremely difficult for these containers to be moved should the city need access to the existing drainage and utility easement. The easement should not have any unmovable structures on it.

We recommend the containers be removed from the drainage and utility easement and all recent gravel and pavement be removed and restored to green space.

Please contact me if you have any questions.

July 14, 2021

City of Isanti

RE: Isanti Self Storage CUP Request



Isanti Fire has reviewed the proposed CUP application for Isanti Self Storage at 515 1st Ave NW, PID 16.058.0057 in the City of Isanti.

Concerns listed below are noted fire safety matters, which are listed with language from the 2015 Minnesota State Fire Code. This code is enforceable in the City of Isanti under 111-13, ordinance number 711 adopted on November 5, 2019.

- 1) Structures used for storage are placed within 10'-of lot line(s).

315.4 Outside storage.

Outside storage of combustible materials shall not be located within 10 feet (3048 mm) of a lot line.

Sincerely,

A handwritten signature in black ink, appearing to read "Alan Jankovich", is written over a horizontal line.

Alan Jankovich | Fire Chief
Isanti Fire District



INFORMATION MEMO

Land Use Variances

Learn about variances as a way cities may allow an exception to part of their zoning ordinance. Review who may grant a variance and how to follow and document the required legal standard of “practical difficulties” (before 2011 called “undue hardship”). Links to a model ordinance and forms for use with this law.

RELEVANT LINKS:

Minn. Stat. § 462.357, subd. 6

Minn. Stat. § 462.357, subd. 6

Minn. Stat. § 462.357, subd. 6

I. What is a variance

A variance is a way that a city may allow an exception to part of a zoning ordinance. It is a permitted departure from strict enforcement of the ordinance as applied to a particular piece of property. A variance is generally for a dimensional standard (such as setbacks or height limits). A variance allows the landowner to break a dimensional zoning rule that would otherwise apply.

Sometimes a landowner will seek a variance to allow a particular use of their property that would otherwise not be permissible under the zoning ordinance. Such variances are often termed “use variances” as opposed to “area variances” from dimensional standards. Use variances are not generally allowed in Minnesota—state law prohibits a city from permitting by variance any use that is not permitted under the ordinance for the zoning district where the property is located.

II. Granting a variance

Minnesota law provides that requests for variances are heard by a body called the board of adjustment and appeals; in many smaller communities, the planning commission or even the city council may serve that function. A variance decision is generally appealable to the city council.

A variance may be granted if enforcement of a zoning ordinance provision as applied to a particular piece of property would cause the landowner “practical difficulties.” For the variance to be granted, the applicant must satisfy the statutory three-factor test for practical difficulties. If the applicant does not meet all three factors of the statutory test, then a variance should not be granted. Also, variances are only permitted when they are in harmony with the general purposes and intent of the ordinance, and when the terms of the variance are consistent with the comprehensive plan.

This material is provided as general information and is not a substitute for legal advice. Consult your attorney for advice concerning specific situations.

III. Legal standards

When considering a variance application, a city exercises so-called “quasi-judicial” authority. This means that the city’s role is limited to applying the legal standard of practical difficulties to the facts presented by the application. The city acts like a judge in evaluating the facts against the legal standard. If the applicant meets the standard, then the variance may be granted. In contrast, when the city writes the rules in zoning ordinance, the city is exercising “legislative” authority and has much broader discretion.

A. Practical difficulties

“Practical difficulties” is a legal standard set forth in law that cities must apply when considering applications for variances. It is a three-factor test and applies to all requests for variances. To constitute practical difficulties, all three factors of the test must be satisfied.

1. Reasonableness

The first factor is that the property owner proposes to use the property in a reasonable manner. This factor means that the landowner would like to use the property in a particular reasonable way but cannot do so under the rules of the ordinance. It does not mean that the land cannot be put to any reasonable use whatsoever without the variance. For example, if the variance application is for a building too close to a lot line or does not meet the required setback, the focus of the first factor is whether the request to place a building there is reasonable.

2. Uniqueness

The second factor is that the landowner’s problem is due to circumstances unique to the property not caused by the landowner. The uniqueness generally relates to the physical characteristics of the particular piece of property, that is, to the land and not personal characteristics or preferences of the landowner. When considering the variance for a building to encroach or intrude into a setback, the focus of this factor is whether there is anything physically unique about the particular piece of property, such as sloping topography or other natural features like wetlands or trees.

RELEVANT LINKS:

2011 Minn. Laws, ch. 19,
amending Minn. Stat. §
462.357, subd. 6.

*Krummenacher v. City of
Minnetonka*, 783 N.W.2d 721
(Minn. June 24, 2010).

Minn. Stat. § 462.357, subd.
6
Minn. Stat. § 394.27, subd. 7.

See Section I, *What is a
variance*.

See Section IV-A, *Harmony
with other land use controls*.

3. Essential character

The third factor is that the variance, if granted, will not alter the essential character of the locality. Under this factor, consider whether the resulting structure will be out of scale, out of place, or otherwise inconsistent with the surrounding area. For example, when thinking about the variance for an encroachment into a setback, the focus is how the particular building will look closer to a lot line and if that fits in with the character of the area.

B. Undue hardship

“Undue hardship” was the name of the three-factor test prior to a May 2011 change of law. After a long and contentious session working to restore city variance authority, the final version of HF 52 supported by the League and allies was passed unanimously by the Legislature. On May 5, Gov. Dayton signed the new law. It was effective on May 6, the day following the governor’s approval. Presumably it applies to pending applications, as the general rule is that cities are to apply the law at the time of the decision, rather than at the time of application.

The 2011 law restores municipal variance authority in response to a Minnesota Supreme Court case, *Krummenacher v. City of Minnetonka*. It also provides consistent statutory language between city land use planning statutes and county variance authority, and clarifies that conditions may be imposed on granting of variances if those conditions are directly related to, and bear a rough proportionality to, the impact created by the variance.

In *Krummenacher*, the Minnesota Supreme Court narrowly interpreted the statutory definition of “undue hardship” and held that the “reasonable use” prong of the “undue hardship” test is not whether the proposed use is reasonable, but rather whether there is a reasonable use in the absence of the variance. The new law changes that factor back to the “reasonable manner” understanding that had been used by some lower courts prior to the *Krummenacher* ruling.

The 2011 law renamed the municipal variance standard from “undue hardship” to “practical difficulties,” but otherwise retained the familiar three-factor test of (1) reasonableness, (2) uniqueness, and (3) essential character. Also included is a sentence new to city variance authority that was already in the county statutes.

RELEVANT LINKS:

[Issuance of Variances, LMC Model Ordinance.](#)

[Variance Application, LMC Model Form.](#)
[Adopting Findings of Fact, LMC Model Resolution.](#)

[Minn. Stat. § 462.357, subd. 6.](#)

[See LMC information memo, *Taking the Mystery out of Findings of Fact.*](#)

[Minn. Stat. § 462.357, subd. 6.](#)

C. City ordinances

Some cities may have ordinance provisions that codified the old statutory language, or that have their own set of standards. For those cities, the question may be whether you have to first amend your zoning code before processing variances under the new standard. A credible argument can be made that the statutory language pre-empts inconsistent local ordinance provisions. Under a pre-emption theory, cities could apply the new law immediately without necessarily amending their ordinance first. In any regard, it would be best practice for cities to revisit their ordinance provisions and consider adopting language that mirrors the new statute.

The models linked at the left reflect the 2011 variance legislation. While they may contain provisions that could serve as models in drafting your own documents, your city attorney would need to review prior to council action to tailor to your city's needs. Your city may have different ordinance requirements that need to be accommodated.

IV. Other considerations

A. Harmony with other land use controls

The 2011 law also provides that: "Variances shall only be permitted when they are in harmony with the general purposes and intent of the ordinance and when the terms of the variance are consistent with the comprehensive plan." This is in addition to the three-factor practical difficulties test. So a city evaluating a variance application should make findings as to:

- Is the variance in *harmony with* the purposes and intent of the ordinance?
- Is the variance *consistent with* the *comprehensive plan*?
- Does the proposal put property to use in a *reasonable manner*?
- Are there *unique circumstances* to the property not created by the landowner?
- Will the variance, if granted, alter the *essential character* of the locality?

B. Economic factors

Sometimes landowners insist that they deserve a variance because they have already incurred substantial costs or argue they will not receive expected revenue without the variance. State statute specifically notes that economic considerations alone cannot create practical difficulties. Rather, practical difficulties exist only when the three statutory factors are met.

RELEVANT LINKS:

Minn. Stat. § 462.357, subd.
6.

C. Neighborhood opinion

Neighborhood opinion alone is not a valid basis for granting or denying a variance request. While city officials may feel their decision should reflect the overall will of the residents, the task in considering a variance request is limited to evaluating how the variance application meets the statutory practical difficulties factors. Residents can often provide important facts that may help the city in addressing these factors, but unsubstantiated opinions and reactions to a request do not form a legitimate basis for a variance decision. If neighborhood opinion is a significant basis for the variance decision, the decision could be overturned by a court.

D. Conditions

A city may impose a condition when it grants a variance so long as the condition is directly related and bears a rough proportionality to the impact created by the variance. For instance, if a variance is granted to exceed an otherwise applicable height limit, any conditions attached should presumably relate to mitigating the effect of excess height.

V. Variance procedural issues

A. Public hearings

Minnesota statute does not clearly require a public hearing before a variance is granted or denied, but many practitioners and attorneys agree that the best practice is to hold public hearings on all variance requests. A public hearing allows the city to establish a record and elicit facts to help determine if the application meets the practical difficulties factors.

B. Past practices

While past practice may be instructive, it cannot replace the need for analysis of all three of the practical difficulties factors for each and every variance request. In evaluating a variance request, cities are not generally bound by decisions made for prior variance requests. If a city finds that it is issuing many variances to a particular zoning standard, the city should consider the possibility of amending the ordinance to change the standard.

RELEVANT LINKS:

Minn. Stat. § 15.99

Minn. Stat. § 15.99, subd. 2

See LMC information memo,
*Taking the Mystery out of
Findings of Fact.*

Minn. Stat. § 15.99, subd. 2

Jed Burkett
LMCIT Land Use Attorney
jburkett@lmc.org
651.281.1247

C. Time limit

A written request for a variance is subject to Minnesota's 60-day rule and must be approved or denied within 60 days of the time it is submitted to the city. A city may extend the time period for an additional 60 days, but only if it does so in writing before expiration of the initial 60-day period. Under the 60-day rule, failure to approve or deny a request within the statutory time period is deemed an approval.

D. Documentation

Whatever the decision, a city should create a record that will support it. In the case of a variance denial, the 60-day rule requires that the reasons for the denial be put in writing. Even when the variance is approved, the city should consider a written statement explaining the decision. The written statement should explain the variance decision, address each of the three practical difficulties factors and list the relevant facts and conclusions as to each factor.

If a variance is denied, the 60-day rule requires a written statement of the reasons for denial be provided to the applicant within the statutory time period. While meeting minutes may document the reasons for denial, usually a separate written statement will need to be provided to the applicant in order to meet the statutory deadline. A separate written statement is advisable even for a variance approval, although meeting minutes could serve as adequate documentation, provided they include detail about the decision factors and not just a record indicating an approval motion passed.

VI. Variances once granted

A variance once issued is a property right that "runs with the land" so it attaches to and benefits the land and is not limited to a particular landowner. A variance is typically filed with the county recorder. Even if the property is sold to another person, the variance applies.

VII. Further assistance

If you have questions about how your city should approach variances under this statute, you should discuss it with your city attorney. You may also contact League staff.



MEMORANDUM

TO: Planning Commission

FROM: Ryan Saltis, Community Development Specialist

DATE: July 20, 2021

SUBJECT: Site Plan Review for a proposed office warehouse building located at 687 East Dual Blvd. PID 16.157.0020 (Wolf River Electric)

Request: The applicant, Wolf River Electric is requesting site plan approval for a proposed office warehouse building located at 687 East Dual Blvd (PID 16.157.0020).

Overview/Background: The applicant proposes to construct an office warehouse building on a vacant lot located in the Industrial Park District and legally described as Lot 2 Block 1, Isanti Centennial Complex 7th Rearrangement (PID 16.157.0020) with potential future expansion on the north lot. Any future expansions will need to be submitted separately and are not included in this site plan review.

This parcel is currently zoned I-1 Industrial Park District in which "Office-Warehouse" is a permitted use. The building is intended to provide offices and storage space for electric equipment in a warehouse setting. The building is proposed to be roughly 16,125 square feet and provide forty-one parking stalls with two of these stalls designated as handicap accessible.

Analysis of Application: The site plan for the building shall comply with the following requirements for the I-1 Industrial Park District:

Lot Requirements

- Lot Size Minimum .5 acre
- Minimum Width of Lot at ROW 100 ft
- Minimum landscaping 25% of total lot area

The area of the parcel is roughly 5.01 acres in size and exceeds the lot size minimum.

Setbacks – Principal Building

- Front Yard Setback 30 feet
- Side Yard Setback 15 feet
- Rear Yard Setback 30 feet

The proposed building will be located roughly 100 ft from the east property lines near East Dual Blvd NE and will meet all required setbacks for the I-1 zoning district.

Impervious Surface Coverage

There shall be a required minimum of twenty-five percent (25%) reservation of the total lot area for landscaping use. A landscaping plan must be submitted to and be approved by the Planning Commission or its designee.

Impervious surfaces on site will include the building, paved asphalt parking lot and driveway surfaces. The landscaping requirement of 25% of the total lot area as green space will be met.

Surfacing

All areas devoted for parking space and driveways shall be surfaced with asphalt, concrete, or other surface materials, as approved by the City Engineer, suitable to control dust and drainage. All parking areas shall be designed to control surface runoff to adjacent properties either with curbing or grading techniques.

The parking areas and truck court are proposed to be surfaced with standard duty asphalt. Concrete sidewalks are proposed around the perimeter of the building.

Curbing

Except for single-family dwellings, two-family dwellings, and townhouses, all parking areas located in the R-1, R-2, R-3, and R-4 as well as B-1, B-2, B-3, CBT, RC, I-1, or S-1 zoning districts must have curb and gutter around the perimeter of the parking lot.

Concrete curbing and gutters will extend around the entire perimeter of the parking lot and paved area on site. Valley gutters shall be installed through both proposed entrances.

Striping

All parking stalls shall be marked with either yellow or white painted lines not less than four (4) inches wide.

Four-inch-wide yellow or white striping will be used across the site for designated parking stalls. Two stalls will be striped to indicate no parking for handicap access stalls.

Parking Lot Setbacks

- Front Yard Setback 10 feet
- Rear Yard Setback 10 feet
- Street Side Yard Setback 10 feet
- Side Yard Setback 10 feet

Parking areas on site will meet the required 10-foot setbacks from property lines.

Parking Standards

Number of Required Parking Spaces

The following minimum number of off-street parking and loading spaces shall be provided and maintained:

Industrial Uses

Warehouse / Storage	1 space per 1,500 square feet of floor area (Ord. No. 617)
---------------------	--

Based on the proposed use and square footage of the proposed building, 11 parking spaces are required in which one stall shall be designated as handicap accessible. The site plans show 41 parking stalls, in which two parking stalls are designated as handicap accessible. The site plans meet the required number of parking spaces for the proposed use.

Stall, Aisle and Driveway Design

Except in the case of single family and two-family dwellings, and townhouses, parking areas shall comply with the following standards

TABLE 9: Parking Lot and Parking Stall Dimensions

Angle of Parking	Stall Width	Curb Length Per Car	Stall Length	Aisle Width One Way	Aisle Width Two Way
90 degrees	9 feet	9 feet	19 feet	26 feet	26 feet

The site features 90-degree parking stalls and will have two-way traffic. Stall dimensions are shown as 9 feet in width and 19 feet in length and follow this requirement. The drive aisle widths are proposed for at least 26 feet and meet the requirement for two-way vehicle circulation.

Lighting

Any lighting used to illuminate off-street parking areas, signage, or buildings shall be directed away from residential properties and shall meet the standards as stipulated within Section 14 of this Ordinance.

Outdoor Lighting s

A.

An exterior lighting plan shall be submitted that shows lighting types that are proposed on site and include freestanding light poles and wall mounted sconces. All lighting types proposed shall be downlit and designed to reduce glare. These light sources shall meet all criteria listed in Section 14 of the City Zoning Ordinances. Freestanding light poles shall be illustrated on site plans to determine their location to ensure that the foot candles near property lines are being met.

Curb Cuts

There are two curb cuts proposed along East Dual Blvd NE. These two proposed curb cuts are spaced 242 feet apart and are an adequate distance from each other complying with City Standards. The curb cut on the north access to the site is proposed at 30 feet in width and the south access is proposed at 26 feet in width.

Building Design and Construction

- A. The design and location of the buildings constructed on a lot shall be attractive and shall complement existing structures and the surrounding natural features and topography with respect to height, design finish, color, size and location.
- B. Load bearing structural components shall be steel or structural concrete. Other materials of greater strength may be used if expressly allowed by the City Council.
- C. Architecturally and aesthetically suitable building materials shall be applied to, or used on, all sides of all buildings that are adjacent to other existing or future structures or roads. Exterior walls of iron, aluminum, or wood will be permitted only with the specific written approval of the City Council. Exterior walls of masonry, concrete and glass are encouraged. Colors shall be harmonious and compatible with colors of the natural surroundings and other adjacent buildings.
- D. All exterior wall finishes on any building shall be comprised of any one or a combination of the following materials:
 - 1. Face brick
 - 2. Natural stone
 - 3. Glass
 - 4. Specially designed pre-cast concrete units, if the surfaces have been integrally treated with an applied decorative material or texture.
 - 5. Factory fabricated, finished 26 Ga. Metal panel
 - 6. Decorative concrete block approved by the City Council.

7. Architectural metal accent panels, generally with a value greater than pre-cast concrete units, and as specifically approved by the City Council.
8. When material noted in (5) above is used, there shall be a wainscot of material noted in (1), (2.) or (6) above, Wainscot shall be located across a minimum of 50% of the linear perimeter of the building and shall be located where most visible from streets and as specifically approved by the City Council. Minimum wainscot height shall be one-third of the sidewalk height and/or specifically approved by the City Council.
9. Other materials as approved by the City Council and in conformance with existing design and character of the Property.

Exterior building materials include rock-faced concrete block and other various types of concrete blocks in two neutral colors, a prefinished metal canopy, metal flashing and aluminum windows and door frames. As proposed, this meets the design standards.

Screening, and Landscaping

A. **Fencing and Screening.** Fencing and screening of the following shall be in accordance with Section 15 of this Ordinance.

1. The ground level view of mechanical utilities shall be completely screened from adjacent properties and streets, or designed to be compatible with the architectural treatment of the principal structure.

Mechanical equipment is not displayed on site plans. If mechanical equipment is on the exterior of the building, site plans shall be altered to show the location of the equipment.

2. External loading and service areas shall be completely screened from the ground level view of adjacent residential and commercial properties, and adjacent streets.

There are no loading and service areas displayed on site plans. A building of this size (under 100,000 square ft) does not require a designated loading area.

3. When abutting or directly across the street from a Residential District, a fencing and/or screening is required.

The site does not abut a residential area.

5. Light from automobile headlights and other sources shall be screened when adjacent to a residential district.

Site does not surround a residential area. The landscape plan shows privacy trees and plantings around the twenty-five parking stalls facing East Dual Blvd NE to shield from automobile headlights.

Landscaping

Non-Residential Requirements: In addition to the general requirements noted, properties located within non-residential districts, shall be subject to the following regulations:

Minimum Landscaping Requirements. All open areas of a lot which are not used or improved for required building areas, parking areas, building expansion areas, drives, sidewalks, storage, or similar hard surface materials shall be landscaped with a combination of sod, overstory trees, understory trees, shrubs, flowers, ground cover materials and/or other similar site design features or materials in a quantity acceptable to the City.

Maintenance of Landscaping. The owner, tenant, and their respective agents shall be responsible for the maintenance of all landscaping provided on the parcel(s) in a condition presenting a healthy, neat, and orderly appearance; free from refuse and debris. Plants and ground cover that are required by an approved site or landscape plan and which have died shall be replaced within three (3) months from receipt of notification by the City. The time for compliance may be extended to nine (9) months, due to seasonal weather conditions.

Soil Requirements. A minimum of four (4) inches of topsoil shall be provided upon all lots.

Turf Requirements. All areas disturbed by new construction or not covered by established lawn or turf shall be sodded. Those areas to be maintained as natural areas as provided for within a developer's agreement or any wetlands that may be located on the property are exempt from this provision. The Building Official may waive this requirement upon inspection of the property.

Tree Requirements.

- a. Landscaping shall provide for an appropriate mix of plantings around the exterior footprint of all buildings. Landscaping shall improve the appearance of the structure and break up large unadorned building elevations. Plantings are not intended to obscure views of the building or accessory signage.
- b. Where undeveloped or open areas of a site are located adjacent to a public right-of-way, the plan shall provide for deciduous trees. A minimum of one (1) tree per fifty (50) feet of street frontage is required. The city may approve an alternative if such alternative appears to meet the intent of this article.
- c. In addition to deciduous and coniferous trees; shrubs, ornamental trees, perennials and annual flowers and bulbs as well as ornamental grasses and ground cover shall be used to compliment the landscape plan.
- d. Trees shall be of varying species and shall be in accordance with the City Tree Lists, as presented within the Section. If four (4) or more trees are used, the trees shall be of at least three (3) different species. If seven (7) or more trees are planted, trees shall be of at least four (4) different species. Other types of trees not listed on the City Tree Lists may be permitted at the discretion of City Staff.

The landscaping plan proposes to include small plantings and a mix of ornamental and overstory trees in between the proposed parking area and the East Dual Blvd NE. Small shrubs and plantings will be placed in planting beds and sod will surround the parking

area curbing. The City Landscaping Ordinance requires that the site have at least 7 trees based on the lot frontage calculation (1 tree per 50 ft of lot frontage) and the proposed amount of 19 trees will meet this standard.

Refuse and Trash Receptacle Enclosures

- B. Trash Dumpsters and Garbage Receptacles Required: All new uses and buildings in all zoning districts, with the exception of the “R-1”, “R-2”, and “R-3A” Districts; shall have trash dumpsters or garbage receptacles provided on the parcel or lot and be adequately screened and enclosed. The location of trash dumpsters and garage receptacles shall be approved during the site plan approval process.
- C. Standards for Trash Enclosures: Trash dumpsters and garbage receptacles shall be screened from all lot lines and public roadways, in accordance with the following provisions:
 - 1. The screening devices shall be designed so that they are architecturally harmonious with the principal structures on the site and shall meet the requirements as specified in Section 15 of this Ordinance.
 - 2. Trash enclosures shall be lit.
 - 3. Trash enclosures shall be of an adequate size to accommodate all refuse and recyclables.
- D. Enclosure and Receptacle Maintenance Required: Fencing and landscaping for trash dumpsters and garbage receptacles shall be maintained in good condition and shall be kept litter-free at all times.

The trash receptacle is proposed to be located in the parking area near the proposed stormwater pond. The trash enclosure on the site plan shows that it will be 16 ft in width and 24 ft in length. The appearance and materials of the trash enclosure have not been shown on submitted plans, the enclosure shall follow the regulations set in Section 14, Subdivision 3 of the City’s Zoning Ordinances and shall be enclosed. The trash enclosure shall also be illuminated for the safety of employees. The landscape plan shows three black hills spruce trees proposed around the trash enclosure for shielding from surrounding properties.

Signs

Sign permits will need to be applied for separately from the site plans. All signs will need to follow criteria listed in Section 16 of the City’s Zoning Ordinances. Permits will be needed for approval of location and dimensions determined at a later date.

Staff Recommendation: Staff recommends approval of the proposed Wolf River Electric office warehouse building located at 687 East Dual Blvd PID 16.157.0020 with the following conditions:

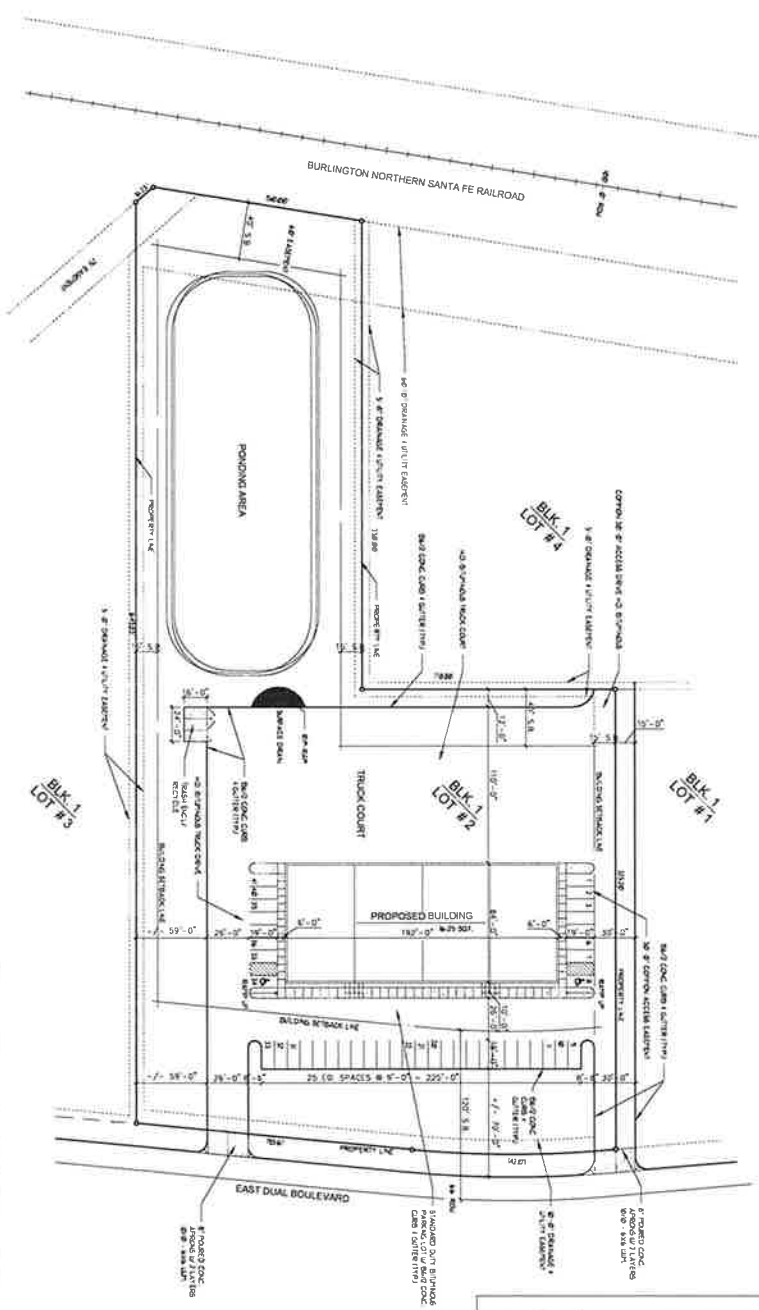
1. Location of freestanding light poles and exterior building lighting shall be shown on site plans and approved by staff prior to applying for a building permit
2. Trash enclosure plans shall be submitted for staff review and approval prior to applying for a building permit
3. A photometrics plan shall be submitted to review lighting types and foot candle readings prior to applying for a building permit
4. All signs shall require a sign permit when applicable to determine dimensions and locations and shall follow Section 16 of the City's Zoning Ordinances
5. Applicant shall apply for all permits associated with the building including but not limited to a building permit, mechanical permit, plumbing permit, electrical permit, and sewer and water hookup.
6. All conditions/comments listed in the City Engineer's memo dated 7/12/2021 shall be addressed

Attachments:

- Site Plans, Floor Plans, Exterior Elevations and Landscape Plans
- City Engineer's Memo Dated 7/12/2021

SITE DEVELOPMENT PLAN

1" = 45'-0"



NOTES

1. SEE SITE DEVELOPMENT PLAN A.1 LANDSCAPE PLANLIST 1. SITE SURVEY C-11 AND GRADING & DRAINAGE PLAN ULTIMATE PLAN AND EROSION CONTROL PLAN PREPARED BY CALSON WOODMAN FOR ADHOC INVESTIGATION ON 1/20/10.
2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF MINNEAPOLIS ORDINANCES AND THE MINNEAPOLIS ZONING ORDINANCES.
3. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF MINNEAPOLIS ORDINANCES AND THE MINNEAPOLIS ZONING ORDINANCES.
4. THE PROPOSED OFFICE AND PARKING IS TO BE INSTALLED BY THE OWNER AND THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF MINNEAPOLIS.
5. THE PROPOSED CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF MINNEAPOLIS ORDINANCES AND THE MINNEAPOLIS ZONING ORDINANCES.
6. THE PROPOSED CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF MINNEAPOLIS ORDINANCES AND THE MINNEAPOLIS ZONING ORDINANCES.
7. THE PROPOSED CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF MINNEAPOLIS ORDINANCES AND THE MINNEAPOLIS ZONING ORDINANCES.
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10. THE PROPOSED CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF MINNEAPOLIS ORDINANCES AND THE MINNEAPOLIS ZONING ORDINANCES.
11. THE PROPOSED CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF MINNEAPOLIS ORDINANCES AND THE MINNEAPOLIS ZONING ORDINANCES.

- NOTES**
1. SEE SITE DEVELOPMENT PLAN A.1 LANDSCAPE PLANLIST 1. SITE SURVEY C-11 AND GRADING & DRAINAGE PLAN ULTIMATE PLAN AND EROSION CONTROL PLAN PREPARED BY CALSON WOODMAN FOR ADHOC INVESTIGATION ON 1/20/10.
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PROPOSED BUILDING

Item	Description	Quantity	Unit
1	Concrete Slab	1	sq ft
2	Reinforcing Steel	1	lb
3	Formwork	1	sq ft
4	Excavation	1	cu yd
5	Backfill	1	cu yd
6	Gravel	1	cu yd
7	Asphalt	1	sq ft
8	Paint	1	gal
9	Lighting	1	fixture
10	Landscaping	1	plant

OWNER:
 WOLF RIVER ELECTRIC
 1025 1st Avenue S
 Minneapolis, MN 55404

DESIGNER:
 Lamb architects
 P.O. Box 1000
 Forest Lake, MN 55025
 (612) 670-0358

PROJECT:
 WOLF RIVER ELECTRIC
 1025 1st Avenue S
 Minneapolis, MN 55404

DATE:
 1/20/10

SCALE:
 1" = 45'-0"

REVISIONS:

No.	Description	Date
1	Initial Design	1/20/10
2	Revised Design	2/10/10
3	Final Design	3/10/10

Lamb architects
 P.O. Box 1000
 Forest Lake, Minnesota 55025
 (612) 670-0358

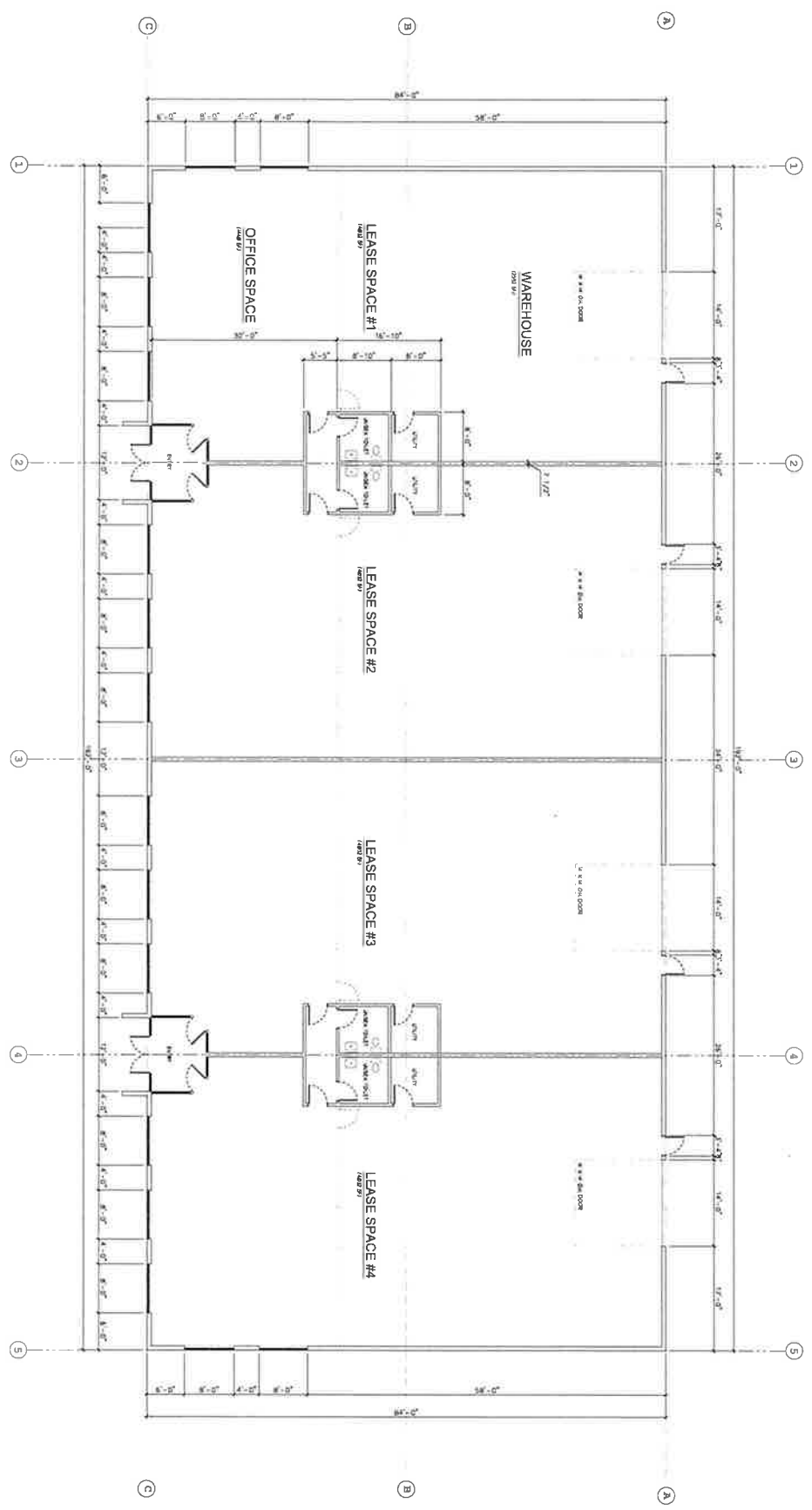
Project:
 WOLF RIVER ELECTRIC
 1025 1st Avenue S
 Minneapolis, MN 55404

Drawn by: [Name]
Checked by: [Name]
Date: 1/20/10

MAIN FLOOR PLAN



1/8" = 1'-0"



SHEET NAME
MAIN FLOOR PLAN

SHEET
A2

DESIGNER
 Becklin & Whitney
 Consulting Engineers, PC
 135 1st Ave. E. Suite 100
 Cambridge, MN 55008
 Phone: (763) 693-5631
 Fax: (763) 595-0631

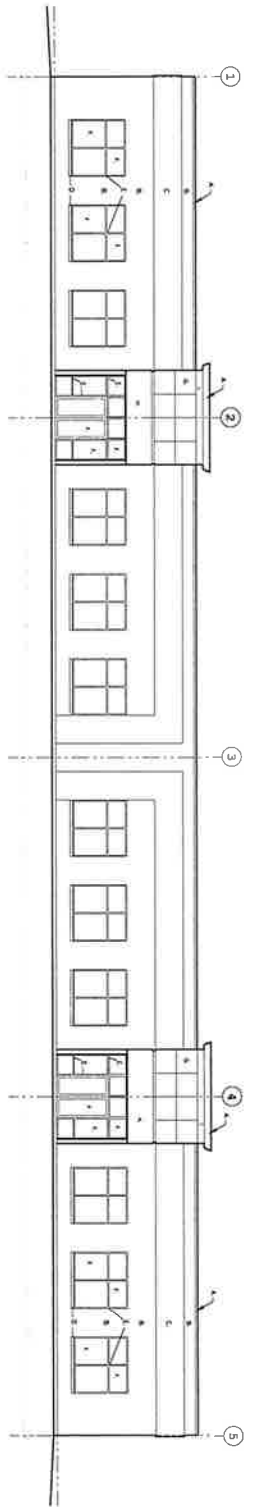
CHECKED
 J.K.

DATE
 08/20/2014

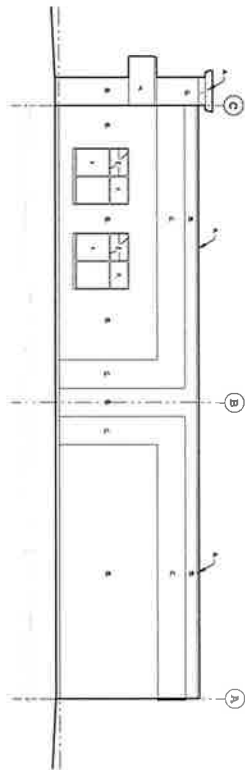
PROJECT
WOLF RIVER ELECTRIC
 LOT 2 - BLOCK 1,
 ISANTI CENTENNIAL
 COMPLEX 9TH
 REARRANGEMENT
 CITY OF ISANTI, MN
 55040

OWNER:
 XXX

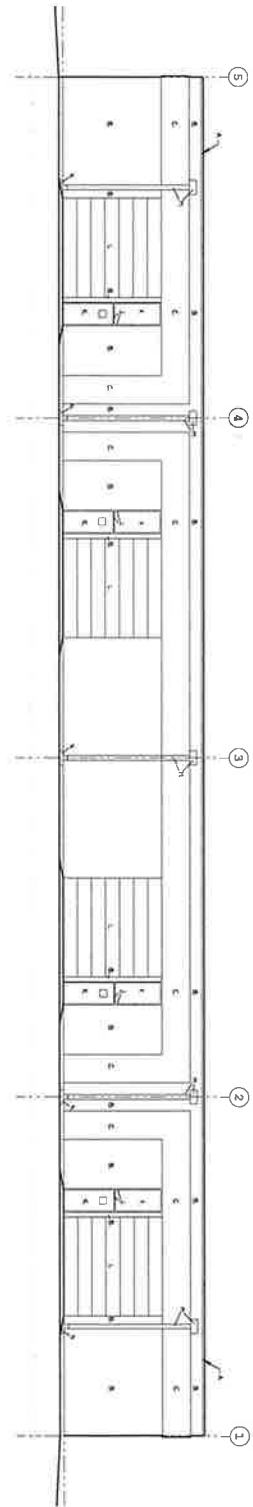
ARCHITECT
Jamb architects
 P.O. Box Forest Lake, Minnesota 55025
 (612) 670-0358



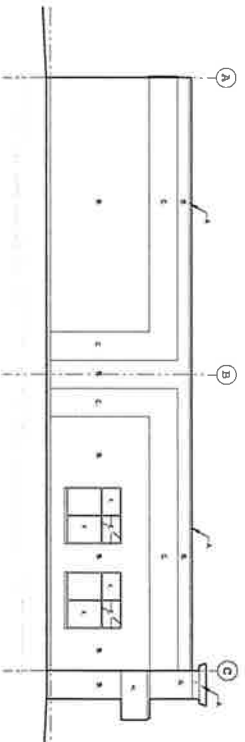
EAST ELEVATION



NORTH ELEVATION



WEST ELEVATION



SOUTH ELEVATION

EXTERIOR FINISH SCHEDULE

1. MASONRY
2. CONCRETE
3. METAL PANELS
4. METAL CLADDING
5. METAL SIDING
6. METAL ROOFING
7. METAL FLASHING
8. METAL GUTTERS
9. METAL DOWNSPOUTS
10. METAL RAIN CAPS
11. METAL RAIN DIVERTERS
12. METAL RAIN COVERS
13. METAL RAIN SCREENS
14. METAL RAIN COLLECTORS
15. METAL RAIN DRAINAGE
16. METAL RAIN DIVERSION
17. METAL RAIN COLLECTION
18. METAL RAIN STORAGE
19. METAL RAIN TREATMENT
20. METAL RAIN REUSE

Jamb architects
 P.O. Box Forest Lake, Minnesota 55025
 (612) 670-0358

Project: **WOLF RIVER ELECTRIC**
 LOT 2 - BLOCK 1, ISANTI CENTENNIAL COMPLEX SITE REARRANGEMENT
 CITY OF ISANTI, MN 55040

OWNER: XXX

Commission Number: DAB
 XXX
 Drawn: JF Checked: JA

Backlin & Unting
 Consulting Engineers, Inc.
 129 6th Ave E, Suite 1000
 Cambridge, MN 55008
 Phone: (651) 695-5631
 Fax: (651) 692-5631

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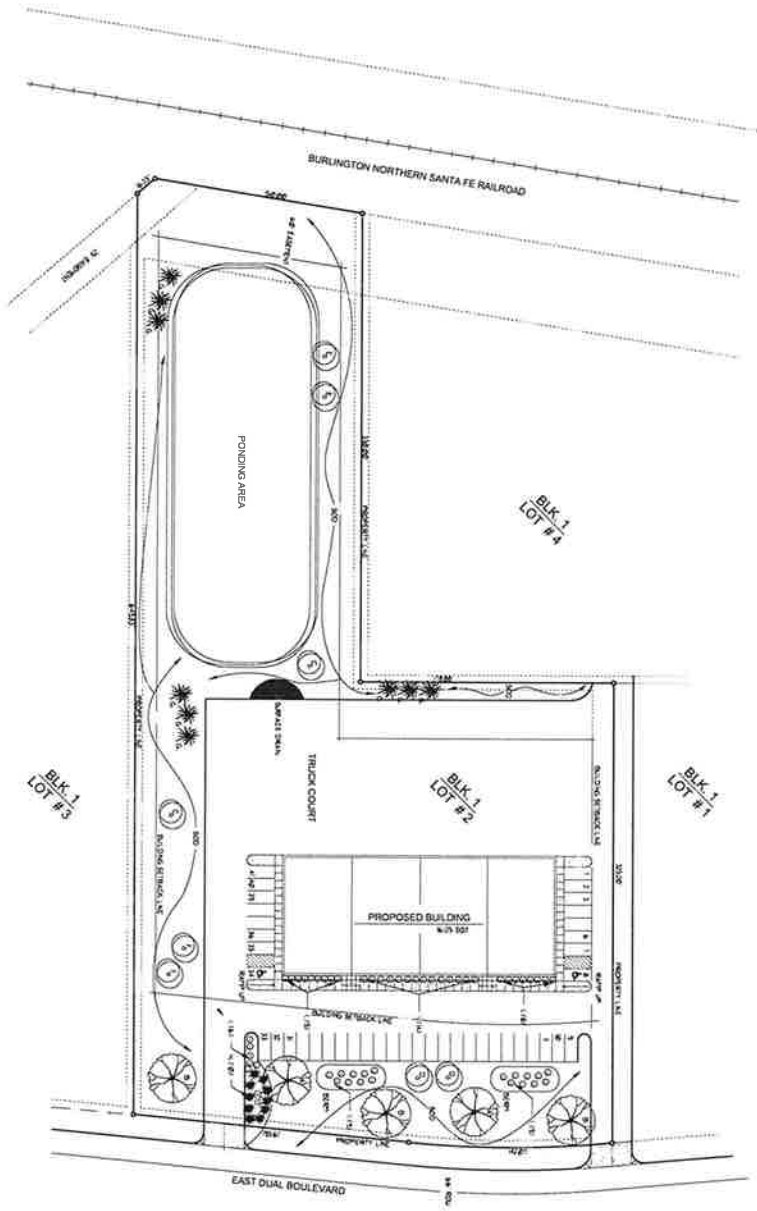
When a blank "E" DATE: AS EX. DATE: UC: NO. 1849

Sheet: **A3**

ELEVATIONS

LANDSCAPE PLAN

1" = 40'-0"



- GENERAL NOTES**
1. PLANT MATERIALS SHALL BE CALIBRATED FOR A PERIOD OF ONE (1) YEAR. ONE YEAR REPLACEMENT.
 2. ALL PLANTING BEGINS FOR SUMMER. SHALL BE PROTECTED WITH WINDSCREENS. WINDSCREENS SHALL BE 4' HIGH AND 1/2" GAUGE. WINDSCREENS SHALL BE INSTALLED IN PLACE AT 4' O.C. BESS SHALL RECEIVE 4" MIN. PLANK ON BALL POLYURETHANE 3" CONCRETE COPPER STATE FOLIUM C UTILITY LOCATES PRIOR TO STARTING CONSTRUCTION.
 3. ALL PLANTING SHALL BE CALIBRATED FOR A PERIOD OF ONE (1) YEAR. ONE YEAR REPLACEMENT.
 4. ALL PLANTING SHALL BE CALIBRATED FOR A PERIOD OF ONE (1) YEAR. ONE YEAR REPLACEMENT.
 5. ALL PLANTING SHALL BE CALIBRATED FOR A PERIOD OF ONE (1) YEAR. ONE YEAR REPLACEMENT.
 6. EXIST. PLANT LANE 4.5' E.A. FORM. SIGNAGE SHALL BE 4' HEIGHTS FROM TOP OF ROAD. THE ROOF SHALL HAVE DRAINAGE DOWN TO 2ND HORIZONTAL LINE FROM THE BOTTOM (2' POLE OFF SITE).
 7. LANDSCAPING CONTRACTOR SHALL MAINTAIN TREES IN A PLUMB VERTICAL POSITION THROUGHOUT THE REQUIRED MAINTENANCE PERIOD.
 8. LANDSCAPING CONTRACTOR SHALL DESIGN AND INSTALL AN UNDERGROUND CONCRETE. THE SYSTEM SHALL BE MAINTAINED FOR 1 YEAR FROM THE TIME AN OCCUPANCY PERMIT IS ISSUED.

LANDSCAPE SCHEDULE

CODE	PLANT MATERIAL (BOTANICAL NAME)	PLANT SIZE
A	RED TWIG DOGWOOD (SWITCHGRASS)	24" O.B.B.
B	YELLOW DOGWOOD (SWITCHGRASS)	24" O.B.B.
C	SMALL LOCAL (SOUTH FLA. HAZEL) - 1' x 1' x 1' x 1'	24" O.B.B.
D	PLANTING (SOUTH FLA. HAZEL) - 1' x 1' x 1' x 1'	24" O.B.B.
E	SMALL BIRCH (SWITCHGRASS)	24" O.B.B.
F	SMALL BIRCH (SWITCHGRASS)	24" O.B.B.
G	SMALL BIRCH (SWITCHGRASS)	24" O.B.B.
H	SMALL BIRCH (SWITCHGRASS)	24" O.B.B.
I	SMALL BIRCH (SWITCHGRASS)	24" O.B.B.
J	SMALL BIRCH (SWITCHGRASS)	24" O.B.B.
K	SMALL BIRCH (SWITCHGRASS)	24" O.B.B.
L	SMALL BIRCH (SWITCHGRASS)	24" O.B.B.

Sheet Name
LANDSCAPE PLAN

Scale
L1

Project Name
WOLF RIVER ELECTRIC

Project Address
LOT 2 - BLOCK 1, ISANTI CENTENNIAL COMPLEX 5TH REARRANGEMENT CITY OF ISANTI, MN 55040

OWNER:
XXX

Commission Number
20000000

Drawn By
Chris J. J.

Checked By
Chris J. J.

Backfill / Utilities
Consulting Engineer, 75
135 1st Ave E, Suite 102
Caledonia, MN 55008
Phone: (763) 868-9631
Fax: (763) 552-5631

DESIGNED BY
JAMES J. JAMES, P.E.
DATE: 03/26/2024
LIC. NO. 1844

Jamb architects
P.O. Box Forest Lake, Minnesota 55025
(612) 670-0358



Real People. Real Solutions.

7533 Sunwood Drive NW
Suite 206
Ramsey, MN 55303-5119

Ph: (763) 433-2851
Fax: (763) 427-0833
Bolton-Menk.com

MEMORANDUM

Date: July 12, 2021
To: Sheila Sellman, Community Development Director
From: Jason W Cook, P.E.
City Engineer
Subject: Wolf River Electric – Site Plan Review
City of Isanti, MN
Project No.: 0R1.123130

We have reviewed the Site Plan and supporting documents entitled “Wolf River Electric” with a date of June 20, 2021.

The plan includes the construction of a new building, parking lot and pond.

An existing and proposed stormwater model was also submitted.

A future concept layout of a three lot subdivision was also included. We have not reviewed the other concept layouts at this time, however, we have verified the lot width at East Dual Boulevard is based on the currently platted lot lines.

We have reviewed the submitted documents and have the following comments:

Site Plan:

1. Sheet C3 Erosion & Sediment Control Plan:
 - a. Submit SWPPP to City prior to beginning work as over 1 acre of surface will be disturbed.
2. Sheet C5 – Civil Site Plan:
 - a. No future layout linework will be reviewed as submitted. Those expansions will need to be submitted in the future for full plan review.
 - b. Construct valley gutter through both proposed entrances.
 - c. Obtain ingress/egress easement from Lot 1 and give one to Lot 1.
3. Sheet C6 – Grading Plan:
 - a. Provide slope percent labels along curb and in pavement.
 - b. Show the handicap stall areas do not exceed 2%, and show the ped ramps onto the sidewalk.
 - c. The proposed infiltration basin needs to have 3 feet of separation from the pond bottom to the ground water level.



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Ramsey, MN 55303-5119

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- d. The proposed infiltration basin will need to have a soil boring to determine the water table, and a percolation test to determine infiltration rate.
 - e. Show the EOF spot elevation for the proposed pond.
 - f. Submit pond maintenance plan.
4. Sheet C7 – Utility Plan:
- a. Provide a outlet structure for the proposed pond.
 - b. A sanitary sewer service and water service are already stubbed to the property line. See attached record drawing. Connect to these services, as opposed to cutting into the street if possible.
 - c. The storm sewer inverts appear to be at or near the groundwater level. This does not allow room for infiltration.

Stormwater Modeling:

1. Submit subcatchment maps for the existing and proposed models.
2. Use Atlas-14 storm event modeling.
3. Submit summary table of 2, 10, and 100 year storm event flow rates pre and post development.
4. Verify ground water will be over 3-feet below the bottom of the proposed infiltration basin. Provide geotechnical report showing this and have percolation tests completed to determine infiltration rate. Revise model as needed. Correct soil to not exceed maximum allowed infiltration rates.

We recommend approval of the site plan once the above items are addressed.

Please contact me if you have any questions.



**CITY OF ISANTI
PLANNING COMMISSION MEETING
TUESDAY, August 17, 2021
Immediately following the 7:30pm Budget Work Session
CITY HALL**

- 1. Meeting Opening**
 - A. Call to Order
 - B. Pledge of Allegiance
 - C. Roll Call
 - D. Agenda Modifications
 - E. Adopt the Agenda

- 2. Meeting Minutes**
 - A. Approval of Minutes from the July 20, 2021 Planning Commission Meeting

- 3. Public Hearing**
 - A. Request by Thunder Brothers Brewery for approval of a Conditional Use Permit under City Ordinance 445, Section 21, Article 2, said request is for a Microbrewery in the General Business District, Highway 65 Overlay located at 801 Highway 65 NE.

 - B. Request by BA Development, LLC for approval of Site Plans under City Ordinance 445 Section 18 said request is for a Dental Clinic and Commercial Tenant building located at 401 Cherrywood St NE.

 - C. Request by City of Isanti for Preliminary and Final Plat under City Ordinance 536, to create two lots located at 10 6th Ave SE.

- 4. Other Business**

- 5. Discussion Items**

- 6. Adjournment**

CITY OF ISANTI

PLANNING COMMISSION MEETING

TUESDAY, July 20, 2021

Immediately following the 7:30 P.M Budget Work Session Meeting;

1. Meeting Opening

- A. Call to Order: Chair Johnson called the meeting to order at 8:09 p.m.
- B. Pledge of Allegiance
- C. Roll Call: Members present: Jeff Johnson, Steve Lundeen, Jimmy Gordon, Dan Collison, Arissya Simon.
Members Absent: Alexander Collins, Paul Bergley
Staff present: Community Development Director Sheila Sellman, Community Development Specialist Ryan Saltis
- D. Agenda Modifications: None
- E. Adopt the Agenda
Motion to adopt the agenda by Lundeen, second by Collison motion passes 5-0.

2. Meeting Minutes

- A. Approval of Minutes from the May 18, 2021 Planning Commission Meeting motion by Lundeen, second by Collison motion passes 5-0.

3. Public Hearing

- A. Request by Isanti Self-Storage for Variances under City Ordinance 445, Section 21, Article 5, said request is to allow storage units to encroach within the 30-foot rear setback requirement of the I-1 Zoning District, and for the site to exceed 75% maximum impervious surface, located at 515 1st Ave NW.

Sellman explained the variance requests for the setbacks and impervious surface maximums. Jon Taxdahl, a representative of Isanti Self-Storage was present at the meeting and available for questions. Jon explained that Isanti-Self Storage has removed the green trash container that was on the southeast corner of the site and that they will be removing the units on the south of the site, as requested by the Planning Commission at the May meeting. The units that are currently on the west property line are proposed to be rotated to have more setback area. This setback is proposed at 9.3 feet from the west property line. The current and proposed locations of the storage units would still be over the 10-foot drainage and utility easement, the Planning Commission asked if the units could be located off of the easement. Jon responded by saying that they could meet a 10-foot setback for the units, but it would decrease the drive aisle to 19 feet. Larry Kuechle, the owner of the business to the south of Isanti Self-Storage was present at the meeting and stated that the units to the south still haven't been removed and that he would like a deadline for when these units should be removed. Al Jankovich of the Isanti Fire District was also present at the meeting to discuss fire code and the location of the units near the west property line shared with

the rodeo grounds. Al explained that there is a Minnesota State Fire Code regulation that states that outside storage of combustible materials shall not be located within 10 feet of a lot line. Al also stated that the Rodeo Association is not in favor of the units being in the proposed location due to safety concerns and a depreciating land value for nearby properties. The Planning Commission agreed that the applicants would not have to remove the impervious surfaces that were added on the site, such as the gravel or asphalt. Steve Lundeen stated that the codes have to be followed, and that this variance request does not meet any of the criteria for granting a variance because of undue hardships. The variance would only be for the economic gain of the applicant. Motion for denial of the variance requests for setbacks and impervious surfaces by Lundeen, second by Collison, motion passed 4-1. A separate motion was made by Lundeen to remove all storage units near the south and west property lines by September 30th, 2021 and that the applicants would not have to remove any existing hard surfaces on site, second by Collison, motion passed 4-1.

- B. Request by Wolf River Electric Co. for Site Plan approval under City Ordinance 445 Section 18 request is for an office warehouse building located at PID 16.124.0020.** Saltis presented the Site Plans for an office-warehouse building for Wolf River Electric Co in the Isanti Industrial Park. A representative of Wolf River Electric was present at the meeting and available for questions. The Planning Commission asked if the conditions for approval are reasonable and if they can be met. The representative thought that the conditions for approval were reasonable and could be met by updating site plans and submitting photometrics plans. Motion to approve site plans with conditions listed in the staff report and City Engineer's Memo dated 6-12-2021 by Collison, second by Lundeen, motion passed 5-0.

5. Other Business: None

6. Discussion Items: None

7. Adjournment: Motion by Lundeen, second by Collison to adjourn, motion passed 5-0 meeting adjourned at 8:48 p.m.

Respectfully submitted by Ryan Saltis, Community Development Specialist



MEMORANDUM

TO: Planning Commission

FROM: Ryan Saltis, Community Development Specialist

DATE: August 17, 2021

SUBJECT: Request by Thunder Brothers Brewery for a Conditional Use Permit under City Ordinance 445, Section 11, Article 5, Subd 4. said request is for a Microbrewery at 801 Highway 65 PID 16.020.1100

Request

Request by Thunder Brothers Brewery for a Conditional Use Permit for a Microbrewery at 801 Highway 65.

Overview/Background

Thunder Brothers Brewery would like to move their brewing operations from the current site on Enterprise Ave to a new location at 801 Highway 65 NE. The subject site is zoned B-2 General Business with the Highway 65 Overlay. In the Highway 65 Overlay district a microbrewery requires a Conditional Use Permit (CUP). The existing building has one tenant the CBD Joint, and the microbrewery would be a leased space of this building. A microbrewery would be considered a change of use for the building and would need to apply for any permits associated with this new use.

The Planning Commission shall hold a public hearing and consider possible adverse effects of the proposed Conditional Use. The judgment of the Planning Commission shall be based upon, but is not limited to the following factors:

1. The proposed action has been considered in relation to the specific policies and provisions of and has been found to be consistent with the goals and objectives of the Comprehensive Plan, including public facilities and capital improvement plans.
The property is guided commercial and is in line with the Comp Plan.
2. The proposed action meets the purpose and intent of this Ordinance and the underlying zoning district.
The overlay district allows for Microbreweries as a Conditional Use and the requirements are met as proposed.
3. The establishment, maintenance or operation of the conditional use will promote and enhance the general public welfare and will not be detrimental or endanger the public health, safety, morals, or comfort.

The Microbrewery will not be detrimental or endanger the public.

4. The conditional use will not be injurious to the use and enjoyment of other property within the immediate vicinity for the purposes already permitted; nor substantially diminish or impair property values within the neighborhood.

The microbrewery is a new use in an existing building in the B-2 General Business District, it is not anticipated to diminish or impair nearby property values.

5. The establishment of the conditional use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district.

The microbrewery will be located in an existing building and will not impede on the normal and orderly development and improvement of surrounding property.

6. Adequate public facilities and services are available or can be reasonably provided to accommodate the use which is proposed.

The proposed microbrewery will be located in an existing building that has already been planned for public services and will not require additional public facilities.

7. The conditional use shall, in all other respects, conform to the applicable regulations of the district in which it is located.

The use meets this requirement.

8. The conditional use complies with the general and specific performance standards as specified by within this Article.

The use meets this requirement.

Staff Recommendation:

Staff recommends approval with the following conditions:

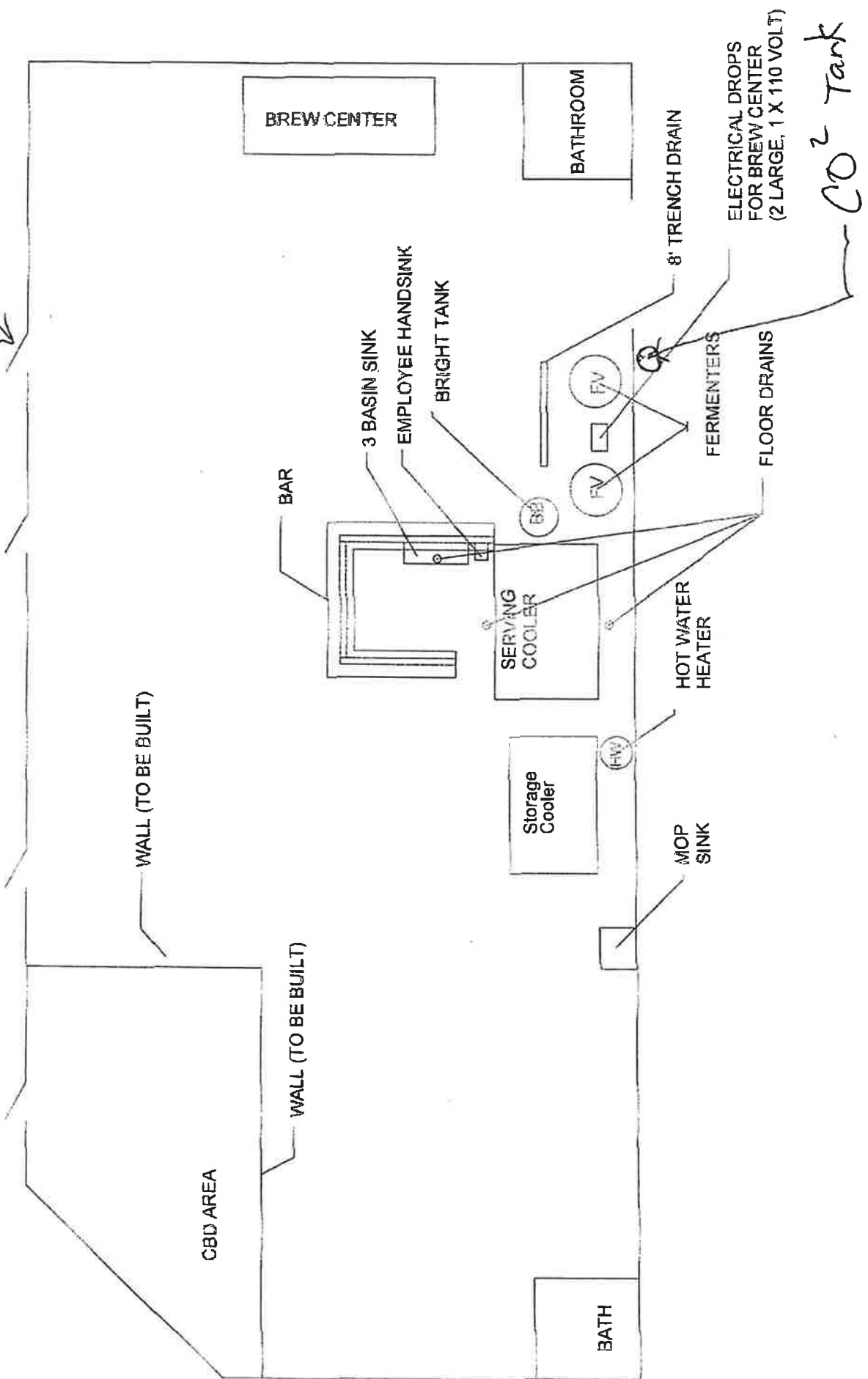
1. Applicant shall be responsible for any and all permits and approvals that may be necessary from other applicable government agencies including a building permit. These permits and approvals shall be submitted to the City of Isanti and/or other governmental jurisdictions that may require said permits.
2. The Conditional Use Permit shall be recorded by the applicant and proof of recording submitted to the City.
3. Signage to be applied for and reviewed by the City prior to installation.

Attachments

- Floor plan

Thunder Brothers Brewery

Customer Entrance



WALL (TO BE BUILT)

WALL (TO BE BUILT)

CBD AREA

BREW CENTER

BATHROOM

BAR

3 BASIN SINK

EMPLOYEE HANDSINK

BRIGHT TANK

8' TRENCH DRAIN

ELECTRICAL DROPS FOR BREW CENTER (2 LARGE, 1 X 110 VOLT)

CO₂ Tank

FERMENTERS

FLOOR DRAINS

HOT WATER HEATER

SERVING COOLER

Storage Cooler

MOP SINK

BATH



MEMORANDUM

TO: Planning Commission

FROM: Ryan Saltis, Community Development Specialist

DATE: August 17, 2021

SUBJECT: Site Plan Review for a proposed Dental Clinic and Commercial Tenant building located at 401 Cherrywood St NE (Isanti Dental)

Request: The applicant, Isanti Dental is requesting site plan approval for a proposed dental clinic and commercial tenant building located at 401 Cherrywood St NE.

Overview/Background: The applicant proposes to construct a building on a vacant lot located at 401 Cherrywood St NE in between Family Dollar and McDonalds.

This parcel is currently zoned B-2 General Business District in which “Health Care Clinic” is a permitted use. The building is intended to provide dental offices and a potential commercial tenant with a drive-thru window. The dental clinic portion of the building is proposed to be roughly 2,700 square feet and the commercial tenant space is roughly 1,800 square feet for a total of 4,500 square feet. The site is proposed to provide nineteen parking stalls with two being designated as handicap accessible. A drive-thru lane is shown on site plans for the east side of the building and requires a conditional use permit.

Analysis of Application: The site plan for the building shall comply with the following requirements for the B-2 General Business District:

Setbacks – Principal Building

Minimum Front Yard Setback	30 feet
Minimum Side Yard Setback	15 feet
Minimum Street Side Yard Setback	20 feet
Minimum Rear Yard Setback	15 feet
Maximum Building Height	Three (3) stories or forty-five (45) feet, whichever is less.

The proposed building will be located roughly in the center of the lot and will meet all required setbacks for the B-2 zoning district.

Impervious Surface Coverage

Twenty-five (25) percent of the total lot area shall consist of green space. Five (5) percent of the total lot area shall be green space within the parking perimeter.

Impervious surfaces on site will include the building, paved asphalt parking lot and driveway surfaces. The site plans show that the total green space on the lot is proposed at 46% and the total green space within the parking area is proposed at 5.2%. The landscaping requirements will be met.

Surfacing

All areas devoted for parking space and driveways shall be surfaced with asphalt, concrete, or other surface materials, as approved by the City Engineer, suitable to control dust and drainage. All parking areas shall be designed to control surface runoff to adjacent properties either with curbing or grading techniques.

The parking areas and driving surfaces are proposed to be surfaced with standard duty asphalt. Concrete sidewalks are proposed around the perimeter of the building.

Curbing

Except for single-family dwellings, two-family dwellings, and townhouses, all parking areas located in the R-1, R-2, R-3, and R-4 as well as B-1, B-2, B-3, CBT, RC, I-1, or S-1 zoning districts must have curb and gutter around the perimeter of the parking lot.

Concrete curbing and gutters will extend around the entire perimeter of the parking lot and paved area on site.

Parking Lot Setbacks

- Front Yard Setback 10 feet
- Rear Yard Setback 10 feet
- Street Side Yard Setback 10 feet
- Side Yard Setback 10 feet

Parking areas on site will meet the required 10-foot setbacks from property lines.

Parking Standards

Number of Required Parking Spaces

The following minimum number of off-street parking and loading spaces shall be provided and maintained:

Office building, professional office, banks	1 space for each 250 sq/ft of gross floor area, plus stacking space for 4 vehicles for bank teller lanes
---	--

Based on the proposed use and square footage of the proposed building, 18 parking spaces are required for the 4500 square foot building in which one stall shall be designated as handicap accessible. The site plans show 19 parking stalls, in which two parking stalls are designated as handicap accessible. The site plans meet the required number of parking spaces for the proposed use.

Stall, Aisle and Driveway Design

- A. Except in the case of single-family dwellings, two-family dwellings, and townhouses, parking areas shall be designed so that circulation between parking aisles or driveways occurs within the designated parking lot and does not depend upon a public street or alley, and such design does not require backing into the public street.

TABLE 9: Parking Lot and Parking Stall Dimensions

Angle of Parking	Stall Width	Curb Length Per Car	Stall Length	Aisle Width One Way	Aisle Width Two Way
90 degrees	9 feet	9 feet	19 feet	26 feet	26 feet

The site features 90-degree parking stalls and will have two-way traffic for the parking area on the south of the proposed building. The drive thru lane and thru traffic lane will begin the one-way vehicle circulation. Stall dimensions are shown as 9 feet in width and 19 feet in length and follow this requirement. The drive aisle widths around both parking areas and drive thru lanes are proposed for at least 26 feet and meet the requirement for both one-way and two-way vehicle circulation. The drive aisle reduces from two lanes to one lane proposed at 18 feet around the west side of the building. The Fire Chief's memo mentions that the proposed width of 18 feet is not accommodating to fire apparatus operations and should be widened to at least 20 feet on the west side of the building.

Lighting

Any lighting used to illuminate off-street parking areas, signage, or buildings shall be directed away from residential properties and shall meet the standards as stipulated within Section 14 of this Ordinance.

Outdoor Lighting Standards

An exterior lighting plan shall be submitted that shows lighting types that are proposed on site and include freestanding light poles and wall mounted sconces. All lighting types proposed shall be downlit and designed to reduce glare. These light sources shall meet all criteria listed in Section 14 of the City Zoning Ordinances. Freestanding light poles shall be illustrated on site plans to determine their location to ensure that the foot candles near property lines are being met.

Building Design and Construction

Exterior Building Materials

- A. The exterior wall finishes on any building shall be comprised of one or more of the following materials:
1. Face brick.
 2. Natural stone.
 3. Glass.
 4. Decorative concrete block as approved by the City Council.
 5. Specifically designed pre-cast concrete units; if the surfaces have been integrally treated with an applied decorative material or texture.
 6. Masonry stucco.
 7. Other comparable or superior material as recommended by the Planning Commission and approved by the City Council.
- B. All subsequent additions and accessory buildings constructed after the erection of the original building or buildings, shall be constructed with exterior finishes comprised of the same materials as the original structure(s).

Exterior building materials include a stucco finish, architectural metal panels, aluminum storefront, and an asphalt shingle roof. Colors for the building were not specified on architectural plans but will need to complement surrounding structures.

Screening, and Landscaping

- A. **Fencing and Screening.** Fencing and screening of the following shall be in accordance with Section 15 of this Ordinance.
1. The ground level view of mechanical utilities shall be completely screened from adjacent properties and streets, or designed to be compatible with the architectural treatment of the principal structure.

Mechanical equipment is displayed on site plans on the south of the commercial tenant building and will be screened by an ornamental tree, shrubs and perennials according to the landscaping plan. A mechanical room of 118 square feet is also shown on the floor plans of the building.

2. External loading and service areas shall be completely screened from the ground level view of adjacent residential and commercial properties, and adjacent streets.

A loading area is displayed on site plans near the south end of the commercial tenant building and will be screened with small shrubs and perennials. A building of this size (under 100,000 square ft) does not require a designated loading area with ramps for trucks.

Landscaping

Non-Residential Requirements: In addition to the general requirements noted, properties located within non-residential districts, shall be subject to the following regulations:

Minimum Landscaping Requirements. All open areas of a lot which are not used or improved for required building areas, parking areas, building expansion areas, drives, sidewalks, storage, or similar hard surface materials shall be landscaped with a combination of sod, overstory trees, understory trees, shrubs, flowers, ground cover materials and/or other similar site design features or materials in a quantity acceptable to the City.

Maintenance of Landscaping. The owner, tenant, and their respective agents shall be responsible for the maintenance of all landscaping provided on the parcel(s) in a condition presenting a healthy, neat, and orderly appearance; free from refuse and debris. Plants and ground cover that are required by an approved site or landscape plan and which have died shall be replaced within three (3) months from receipt of notification by the City. The time for compliance may be extended to nine (9) months, due to seasonal weather conditions.

Soil Requirements. A minimum of four (4) inches of topsoil shall be provided upon all lots.

Turf Requirements. All areas disturbed by new construction or not covered by established lawn or turf shall be sodded. Those areas to be maintained as natural areas as provided for within a developer's agreement or any wetlands that may be located on the property are exempt from this provision. The Building Official may waive this requirement upon inspection of the property.

Tree Requirements.

- a. Landscaping shall provide for an appropriate mix of plantings around the exterior footprint of all buildings. Landscaping shall improve the appearance of the structure and break up large unadorned building elevations. Plantings are not intended to obscure views of the building or accessory signage.
- b. Where undeveloped or open areas of a site are located adjacent to a public right-of-way, the plan shall provide for deciduous trees. A minimum of one (1) tree per fifty (50) feet of street frontage is required. The city may approve an alternative if such alternative appears to meet the intent of this article.

- c. In addition to deciduous and coniferous trees; shrubs, ornamental trees, perennials and annual flowers and bulbs as well as ornamental grasses and ground cover shall be used to compliment the landscape plan.
- d. Trees shall be of varying species and shall be in accordance with the City Tree Lists, as presented within the Section. If four (4) or more trees are used, the trees shall be of at least three (3) different species. If seven (7) or more trees are planted, trees shall be of at least four (4) different species. Other types of trees not listed on the City Tree Lists may be permitted at the discretion of City Staff.

The landscaping plan proposes to include small shrubs and plantings around the parking stalls, dental clinic building and trash enclosure. A mix of ornamental trees are proposed surrounding the corners of the south parking area and the west side of the dental clinic. Four existing trees along the east property line are proposed to stay on site. Sod will surround the parking area and drive aisle curbing. The City Landscaping Ordinance requires that the site have at least 5 trees based on the lot frontage calculation (1 tree per 50 ft of lot frontage) and the proposed amount of 10 trees will meet this standard.

Refuse and Trash Receptacle Enclosures

- B. Trash Dumpsters and Garbage Receptacles Required: All new uses and buildings in all zoning districts, with the exception of the “R-1”, “R-2”, and “R-3A” Districts; shall have trash dumpsters or garbage receptacles provided on the parcel or lot and be adequately screened and enclosed. The location of trash dumpsters and garage receptacles shall be approved during the site plan approval process.
- C. Standards for Trash Enclosures: Trash dumpsters and garbage receptacles shall be screened from all lot lines and public roadways, in accordance with the following provisions:
 - 1. The screening devices shall be designed so that they are architecturally harmonious with the principal structures on the site and shall meet the requirements as specified in Section 15 of this Ordinance.
 - 2. Trash enclosures shall be lit.
 - 3. Trash enclosures shall be of an adequate size to accommodate all refuse and recyclables.
- D. Enclosure and Receptacle Maintenance Required: Fencing and landscaping for trash dumpsters and garbage receptacles shall be maintained in good condition and shall be kept litter-free at all times.

The trash enclosure is proposed to be located southwest of the building near the drive aisle lane. The trash enclosure appears to be located within the drainage and utility easement, and will need to be relocated on the site plans. The trash enclosure on the site plan shows that it will be

18 ft in width and 20 ft in length. The appearance and materials of the trash enclosure have not been shown on submitted architectural plans, the enclosure shall follow the regulations set in Section 14, Subdivision 3 of the City's Zoning Ordinances and shall be enclosed. The trash enclosure shall also be illuminated for the safety of employees. The landscape plan shows bushes surrounding the trash enclosure for shielding from surrounding properties, once the enclosure is relocated it will also need to have landscaping shielding.

Signs

Signs will need to be applied for separately from the site plans. All signs will need to follow criteria listed in Section 16 of the City's Zoning Ordinances. Permits will be needed for approval of location and dimensions determined at a later date.

Drive-Thru Facilities

Site Plans show a drive-thru lane for the commercial tenant space on the east end of the site. Drive-Thru Facilities are a Conditional Use in the B-2 General Business District and will need a Conditional Use Permit to operate. CUP approval is reviewed by the Planning Commission and requires a separate application from the site plans. Drive-Thru Facilities will have to follow all of the requirements listed in Section 13 Article 2 Subdivision 4 and 21 Article 2 of the City Zoning Ordinances. As shown on the site plan it is not clear if there is queuing space for at least 4 cars and the queuing can't interfere with parking spaces or traffic circulation. The drive-thru will be fully reviewed through the Conditional Use Permit process.

Outdoor Seating

An outdoor patio is proposed on the southwest side of the building near the south parking stalls. It is unclear if the patio area will include tables and chairs, if that is the intent of the patio, they should be shown on the site plans where they will be located. The outdoor seating area shall follow all requirements listed in Section 13 Subdivision 14 of the City Zoning Ordinances.

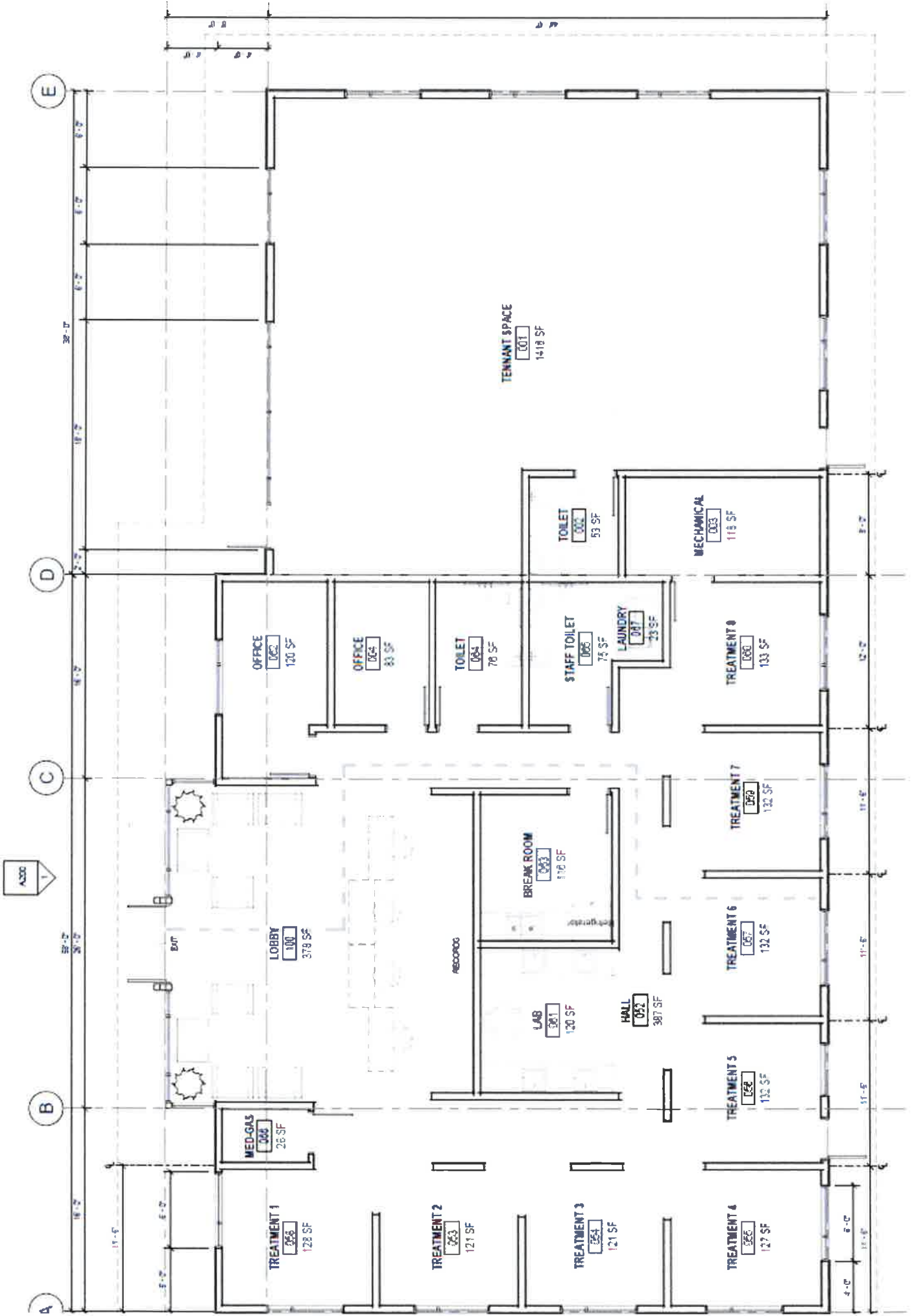
Staff Recommendation: Staff recommends approval of the proposed Isanti Dental Offices and commercial tenant building located at 401 Cherrywood St NE with the following conditions:

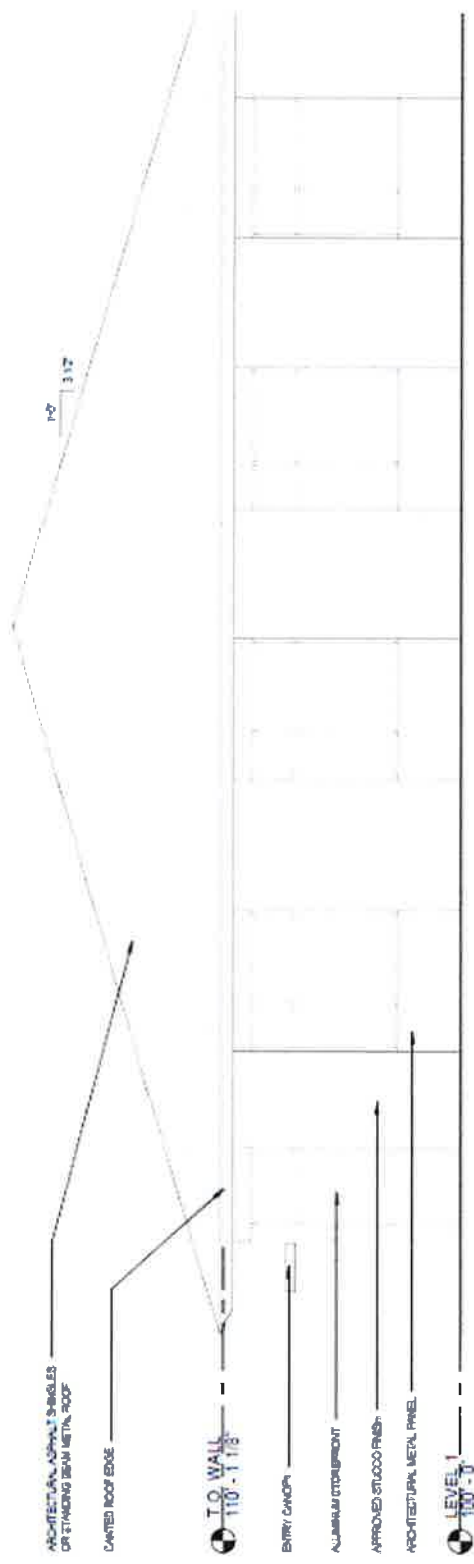
1. Location of freestanding light poles and exterior building lighting shall be shown on site plans and approved by staff
2. The outdoor patio area shall be shown on site plans with configurations of tables and chairs if they will be used on site and follow all requirements listed in Section 13 Subdivision 14 of the City Zoning Ordinances
3. A Conditional Use Permit is required for a Drive Thru window on the commercial tenant side of the building
4. Trash enclosure architectural plans shall be submitted for staff review.
5. Trash enclosure shall be relocated on site plans out of the drainage and utility easement.
6. A photometrics plan shall be submitted to review lighting types and foot candle readings

7. All signs shall require a sign permit when applicable to determine dimensions and locations and shall follow Section 16 of the City's Zoning Ordinances
8. Applicant shall apply for all permits associated with the building including but not limited to a building permit, mechanical permit, plumbing permit, electrical permit, and sewer and water hookup.
9. Drive lane on the west side of the building shall be increased to 20 feet.
10. All conditions/comments listed in the City Engineer's memo dated 7/29/2021 shall be addressed

Attachments:

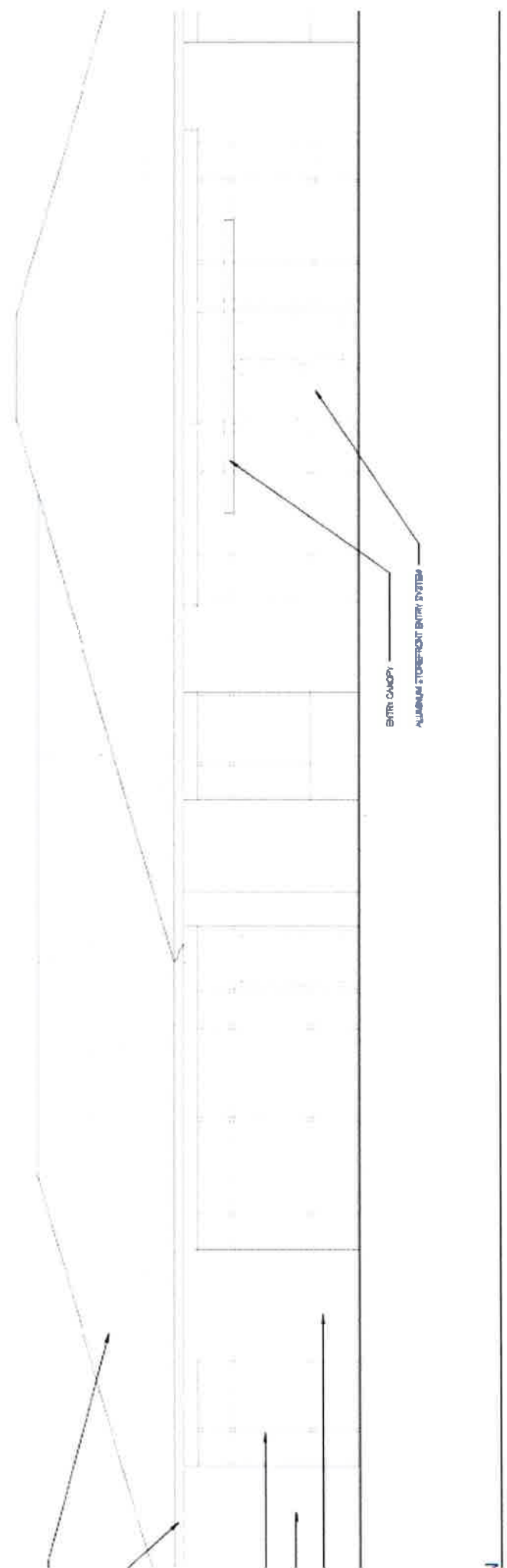
- Site Plans, Floor Plans, Exterior Elevations and Landscape Plans
- City Engineer's Memo Dated 7/29/2021
- Fire Chief's Memo Dated 8/6/2021

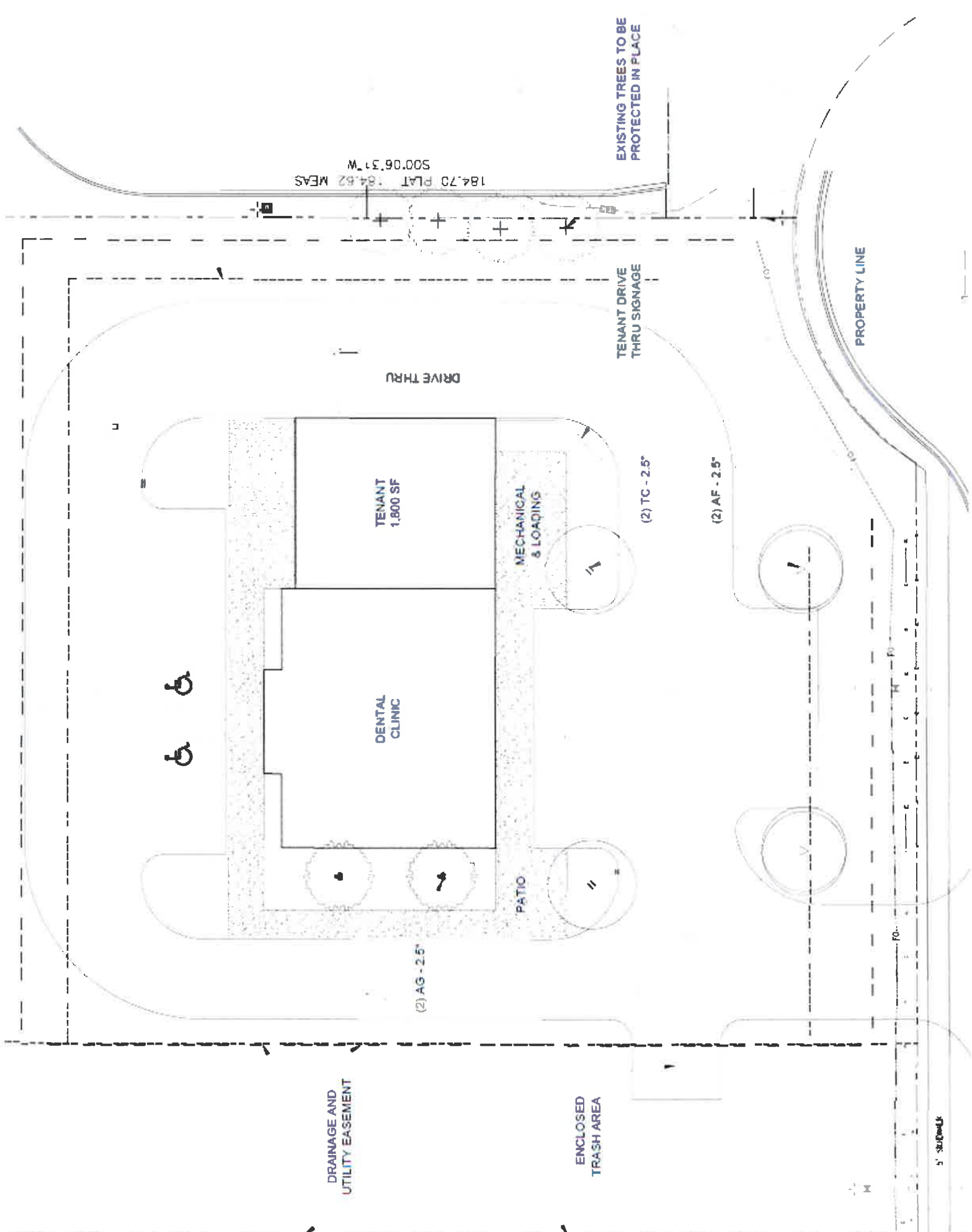




T.O. FOOTING
98'-0"

WEST ELEVATION
1/4" = 1'-0"





184.70 PLAT 184.62 MEAS
500.06.31' W

EXISTING TREES TO BE
PROTECTED IN PLACE

PROPERTY LINE

TENANT DRIVE
THRU SIGNAGE

DRIVE THRU

TENANT
1,800 SF

MECHANICAL
& LOADING

(2) TC - 2.5"

(2) AF - 2.5"

DENTAL
CLINIC



PATIO

(2) AG - 2.5"

DRAINAGE AND
UTILITY EASEMENT

ENCLOSED
TRASH AREA



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MEMORANDUM

Date: July 29, 2021
To: Sheila Sellman, Community Development Director
From: Jason W Cook, P.E.
City Engineer
Subject: Isanti Dental Clinic - Plan Set - Engineering Review
City of Isanti, MN
Project No.: 0R1.123130

We have reviewed the plan set entitled "Isanti Dental Clinic" received on July 23, 2021 with an "Not for Construction" note and a signature date of 7/23/2021. A stormwater submittal was also included.

The project includes the construction of a new Dental Clinic building with tenant space and parking lot. The site plan includes 19 single car parking stalls (including 2 handicap stalls), a storm water collection system, sanitary sewer and water service extensions, a drive through with bypass lane, landscaping, and site grading.

We have reviewed the submitted documents and have the following comments:

Site Plan Sheet:

1. A concrete valley gutter will be needed at the proposed entrance. See attached detail.
2. Depict where gutter out curb will be used.

Grading Plan Sheet:

1. Entrance cannot exceed 1.5% across sidewalk walkway.
2. Label curb grades and pavement grades with flow direction.

Utility Plan Sheet:

1. Separate sewer and water service lines will be required for each separate tenant space. New lines will need to be cut into the mains in the street.
2. Add a CB where the storm pipe crosses the west curb line between CBMH 1 & CBMH 2. Too much drainage is discharging to the city street. Re-route CB 4 to this new CB as well.

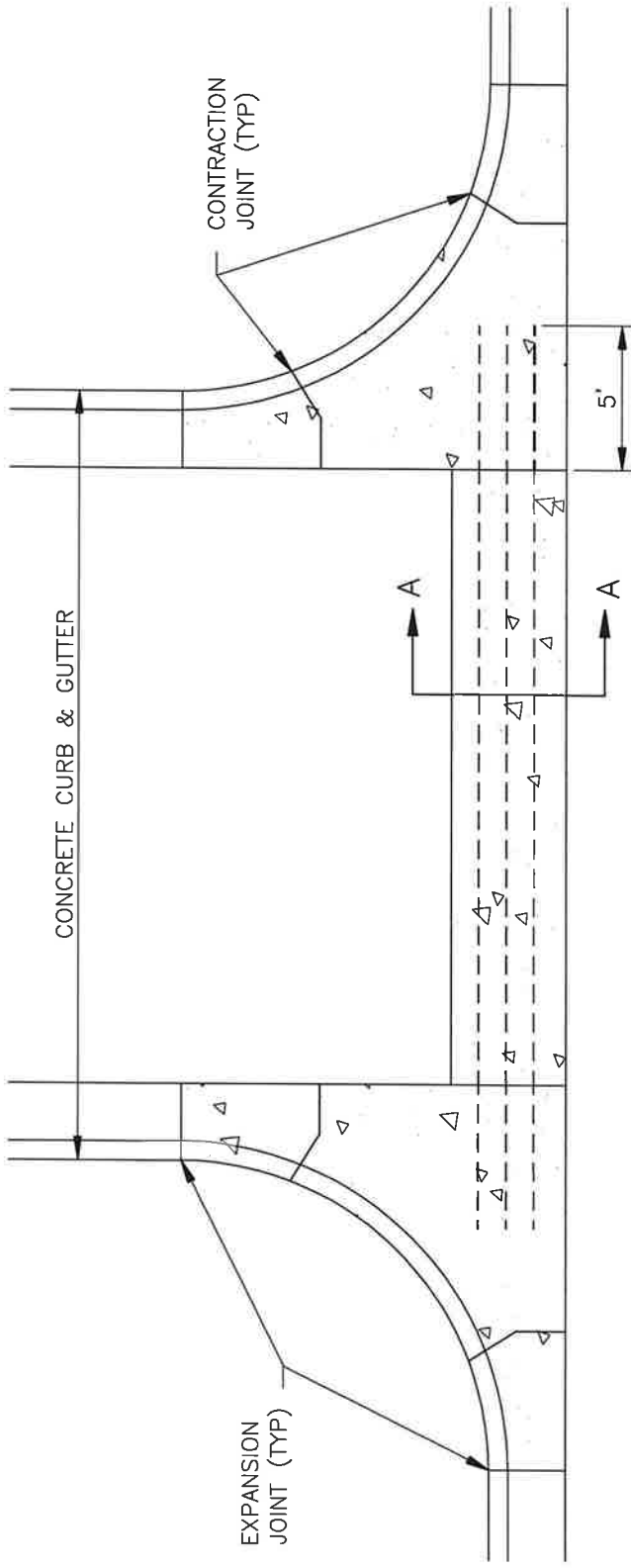
Landscaping Plan:

1. All disturbed surfaces shall receive landscaping or 4-inches of topsoil and sod. Seeding is not allowed.
2. Submit irrigation plan.

Stormwater Calculations:

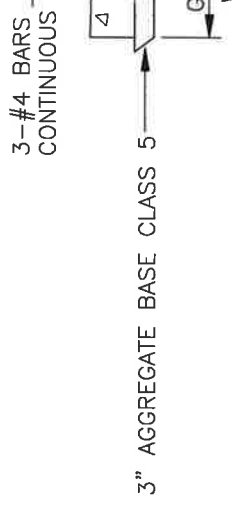
1. Update with added CB.

We recommend approval of the plans once the above comments are addressed.



NOTE:
 1. NO CONTRACTION JOINTS IN VALLEY GUTTER

2. THE CONCRETE VALLEY GUTTER SHALL BE CONSTRUCTED ON 3" AGGREGATE BASE, CLASS 5



SECTION A

CONCRETE VALLEY GUTTER

NOT TO SCALE

CONCRETE VALLEY GUTTER		BMI DETAIL PLATE NO: 7-100	APPROVAL:	DATE:	DETAIL LOG
PATH: Y: 7-100		REMARKS:	STDS COMM. SPRING, 2006	REVISIONS:	DATE:
ORIG. PROJ:					
PROJ. #:		ENG/TECH:			

August 6, 2021

City of Isanti

RE: Isanti Dental



Isanti Fire has reviewed the proposed Isanti Dental Clinic at 401 Cherrywood St NE, in the City of Isanti. Listed below are concerns regarding fire safety, as well as applicable language from the 2015 MN State Fire Code.

- 1) Fire access roads are restricted. Inside radius of 14', and width of 18' is not accommodating to fire apparatus operations.

503.1.1 Buildings and facilities.

Approved fire apparatus access roads shall be provided for every facility, building, or portion of a building hereafter constructed or moved into or within the jurisdiction. The fire apparatus access road shall comply with the requirements of this section and shall extend to within 150 feet (45 720 mm) of all portions of the facility and all portions of the exterior walls of the first story of the building as measured by an approved route around the exterior of the building or facility.

503.2.1 Dimensions.

Fire apparatus access roads shall have an unobstructed width of not less than 20 feet (6096 mm), exclusive of shoulders, except for *approved* security gates in accordance with Section 503.6, and an unobstructed vertical clearance of not less than 13 feet 6 inches (4115 mm).

503.2.4 Turning radius.

The required turning radius of a fire apparatus access road shall be determined by the fire code official.

Sincerely,

Alan Jankovich | Fire Chief
Isanti Fire District



MEMORANDUM

TO: Planning Commission

FROM: Sheila Sellman, Community Development Director

DATE: August 17, 2021

SUBJECT: Request by City of Isanti for Preliminary and Final Plat under City Ordinance 536, to create two lots located at 10 6th Ave SE.

Request

The City Council directed staff to subdivide the “new liquor store site” into two parcels.

Overview/Background

The current site is five acres and has two PID numbers 16.029.2100 and 16.029.2400. The subdivision will create two lots, one lot will house the liquor store and the other lot will be available for sale. The minor subdivision process allows the preliminary and final plat to be processed together.

Analysis:

The subject site is zoned B-2, General Business this district does not have a minimum lot size but does have setback requirements. As proposed the liquor store site would be located on Lot 1 which will be 3.96 acres and Lot 2 will be .67 acres. The liquor store building and parking meets all zoning requirements with this subdivision. Lot 2 will have many existing easements restricting the buildable area. Depending on what develops on Lot 2 a shared parking agreement may be necessary.

Staff Recommendation:

Staff recommends approval

Attachments

- City Engineers memo
- Preliminary Plat
- Final Plat



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MEMORANDUM

Date: August 10, 2021
To: Sheila Sellman, Community Development Director
From: Jason W Cook, P.E.
City Engineer
Subject: Isanti Liquor Store – Prelim & Final Plat Review
City of Isanti, MN
Project No.: 0R1.123019

We have reviewed the Preliminary and Final Plat entitled "Isanti Liquor Store" with a date of August 10, 2021.

The plat includes the platting of two separate parcels owned by the City of Isanti into 2 newly platted lots, an outlot, and a road right of way. This plat will clean up the unnecessary extra parcel that existing on the liquor store site, establish a 60-foot Right-of-Way for the existing roadway, and create an outlot for the small triangular piece of the property that falls on the west side of the existing roadway.

The existing site is under construction for the development of the city liquor store. The newly created parcel will be approximately 59-feet wide along the north side of the existing parcel. This will have many existing easements restricting buildable area.

The site has existing fiber optic easements, drainage & utility easements, and a trail easement.

We recommend approval of the preliminary and final plats as submitted.

Please contact me if you have any questions.



**CITY OF ISANTI
PLANNING COMMISSION MEETING
TUESDAY, September 21, 2021
Immediately following 7:00pm City Council Meeting
CITY HALL**

Pursuant to Minn Statute 13D.02, Councilmember Gordon will be participating in the meeting from Subway, 903 Poplar St Leadville, CO 80461.

The public can view the Planning Commission meeting in person or by visiting this website: <https://us06web.zoom.us/j/82736198494?pwd=bmtXcHNVQkZjMFQ1TytYL1RZQU5lUT09>

or by calling into this number +1 312 626 6799 US with this meeting ID: 827 3619 8494 and passcode 174343.

- 1. Meeting Opening**
 - A. Call to Order
 - B. Pledge of Allegiance
 - C. Roll Call
 - D. Agenda Modifications
 - E. Adopt the Agenda

- 2. Meeting Minutes**
 - A. Approval of Minutes from the August 17, 2021 Planning Commission Meeting

- 3. Public Hearing**
 - A. Request by Kevin Johnson for a Comprehensive Land Use Plan Amendment for properties with PID 16.134.0030, 16.134.0040, 16.134.0050, and 16.134.0060, from General Commercial to Low Density Residential Under City Ordinance 445 Section 21 Article 1.

- 4. Other Business**

- 5. Discussion Items**

- 6. Adjournment**

CITY OF ISANTI

PLANNING COMMISSION MEETING

TUESDAY, August 17, 2021

Immediately following the 7:30 P.M Budget Work Session;

1. Meeting Opening

- A. Call to Order: Chair Johnson called the meeting to order at 8:28 p.m.
- B. Pledge of Allegiance
- C. Roll Call: Members present: Jeff Johnson, Steve Lundeen, Jimmy Gordan, Paul Bergley, Dan Collison, Arissya Simon, Alexander Collins.
Members Absent: None
Staff present: Community Development Director Sheila Sellman, Community Development Specialist Ryan Saltis, City Engineer Jason Cook
- D. Agenda Modifications: None
- E. Adopt the Agenda
Motion to adopt the agenda by Lundeen, second by Collison motion passes 7-0.

2. Meeting Minutes

- A. Approval of Minutes from the July 20, 2021 Planning Commission Meeting motion by Lundeen, second by Collison motion passes 7-0.

3. Public Hearing

- A. Request by Thunder Brothers Brewery for approval of a Conditional Use Permit under City Ordinance 445, Section 21, Article 2, said request is for a Microbrewery in the General Business District, Highway 65 Overlay located at 801 Highway 65 NE. Saltis explained the Conditional Use Permit request to allow for a Microbrewery in the B-2 General Business zoning district. Thunder Brothers is planning to move all of their brewing operations into a leased-out space in the building located at 801 Highway 65 NE owned by the CBD Joint. The change of use for the building will require the applicants to apply for any building permits related to the new use, subject to review by City Staff. Representatives from Thunder Brothers Brewery were present at the meeting and available for questions. The Planning Commission asked why they are planning to move locations for the brewery. The representatives of Thunder Brothers said that they will move into the new space to gain more square footage and provide visibility from Highway 65. There was no one else from the public present at the public hearing to speak on the topic. Motion for approval of the Microbrewery with conditions by Lundeen, second by Gordon, motion passed 7-0.
- B. Request by BA Development, LLC for approval of Site Plans under City Ordinance 445 Section 18, said request is for a Dental Clinic and Commercial Tenant building located at 401 Cherrywood St NE. Saltis presented the Site Plans for a proposed dental clinic and commercial tenant building located on a vacant parcel at 401

Cherrywood St NE. The plans included a drive thru lane for the commercial tenant side of the building in which the applicants would have to apply for a Conditional Use Permit in the General Business District. Conditions for approval listed in the Staff Report included identifying on the site plans where there will be lighting, the configuration of the outdoor patio area, a new trash enclosure location, a widened drive aisle on the west of the building, and City Engineer's comments. A representative from Isanti Dental was present for the meeting and available for questioning. The Planning Commission asked if the conditions for approval were reasonable and could be met. The representative said that she is able to meet all of the conditions for approval. There was no one else from the public present at the public hearing to speak on this item. Motion to approve the site plans with conditions listed in the staff report and City Engineer's Memo dated 7-29-2021 by Lundeen, 2nd by Collison, motion passes 7-0.

- C. Request by City of Isanti for Preliminary and Final Plat under City Ordinance 536, to create two lots located at 10 6th Ave SE. Sellman presented the proposed subdivision of the liquor store site into two parcels. The current site is five acres in size and is looking to be split with Lot 1 consisting of 3.96 acres and Lot 2 consisting of .67 acres. Lot 1 is the liquor store site; Lot 2 would be a buildable lot for a future business which may need a shared parking agreement with the liquor store. The planning commission asked the potential size of a building on lot 2 in which Jason Cook responded by saying that there would be room for a building roughly 1,500 to 2,000 square feet, depending on what is configured around the ponding. There was no one from the public present at the public hearing to speak on this item. Motion to approve the Preliminary and Final Plat to create two lots by Collison, 2nd by Collins, motion passes 7-0.

5. **Other Business:** None

6. **Discussion Items:** None

7. **Adjournment:** Motion by Bergley, 2nd by Collison to adjourn, motion passed 7-0 meeting adjourned at 8:45 p.m.

Respectfully submitted by Ryan Saltis, Community Development Specialist



MEMORANDUM

TO: Planning Commission

FROM: Ryan Saltis, Community Development Specialist

DATE: September 21, 2021

SUBJECT: Request by Kevin Johnson for a Comprehensive Land Use Plan Amendment, said request is to change the designation from General Commercial to Low Density Single Family Residential for PID's 16.134.0030, 16.134.0040, 16.134.0050, 16.134.0060.

Overview/Background

The applicant, Kevin Johnson is requesting to change the Comprehensive Land Use Plan designation of four parcels from General Commercial to Low Density Single Family Residential. The applicant is proposing to develop these sites as residential and would need the Comprehensive Land Use Plan designation to be changed in order to do so. If the Comprehensive Land Use Plan is amended, they would then need to rezone the site. Vacant land and single-family houses are located to the south of the site. Prairie Senior Cottages is located to the west of the proposed site and Krayola Kids daycare is to the northeast of the site.

The Planning Commission shall hold a public hearing and consider possible adverse effects of the proposed Comprehensive Land Use Plan Amendment. Comprehensive Plan Amendments require a 2/3 majority vote by City Council for approval (4 out of 5 members approving).

Analysis

Purpose of Comprehensive Land Use Plan:

A comprehensive plan is an expression of the community's vision for the future and a strategic map to reach that vision. Comprehensive planning is an important tool for cities to guide future development of land to ensure a safe, pleasant, and economical environment for residential, commercial, industrial, and public activities. In addition, planning can help:

- Preserve important natural resources, agricultural land, and other open lands.
- Create the opportunity for residents to participate in guiding a community's future.
- Identify issues, stay ahead of trends, and accommodate change.
- Ensure that growth makes the community better, not just bigger.
- Foster sustainable economic development.
- Provide an opportunity to consider future implications of today's decisions.
- Protect property rights and values.

- Enable other public and private agencies to plan their activities in harmony with the municipality's plans.

The judgment of the Planning Commission with regard to the application shall be based upon, but is not limited to, the following factors:

1. The proposed action has been considered in relation to the specific policies and provisions of and has been found to be consistent with the City Comprehensive Land Use Plan, including public facilities and capital improvement plans.
2. The proposed action meets the purpose and intent of this Ordinance or in the case of a map amendment; it meets the purpose and intent of the individual district.
3. There is adequate infrastructure available to service the proposed action.
4. There is an adequate buffer or transition provided between potentially incompatible districts.

Natural Resources: Isanti's Comprehensive Land Use Plan recognizes the need to preserve and protect the natural resources of the area including watercourses, wetlands, woodlands and sensitive environmental assets. These parcels that are in review of the Comprehensive Land Use Amendment are located in an area designated for preservation of woodlands. Trees that are removed from the parcel in potential future development will need to follow the tree preservation and planting regulations.

Housing Needs: Isanti's Comprehensive Land Use Plan addresses a need for housing on the east side of the city. The applicant is proposing low density single family lots on the proposed parcels. Any future development in this area will need to provide buffers to surrounding land uses that are inconsistent in land uses.

Low Density Residential Standards: The applicant is proposing to develop the parcels as low-density residential housing. This category identifies both existing and potential future low-density residential development within the timeframe of this comprehensive plan update. Low density single family residential land use will take up the majority of new land acreage added to the city. Housing density in this classification is 0-3 units per acre. This is in conformance with the 2007 comprehensive plan and a density of 3 units per acre would allow reasonable retention of natural systems as land is developed for this purpose. Allowances for greater density by planned unit developments should be considered to maximize the amount of land that could be left in natural state. This is also beneficial when the need for storm water retention or flood plain systems (along existing creeks/waterways) is required.

The concept plan shows a density of 2.4 units/acre which is consistent with the Low-Density designation. The future lots shall have to follow the regulations set forth by either the R-1, R-2, R-

3A, Zoning Districts. A rezoning application will be needed at the time of preliminary plat submittal to designate which zoning district the desired lots will follow.

Roadways: According to the Comprehensive Land Use Plan Transportation Maps, there are plans to extend 7th Avenue NE to the south. Rough sketches provided by the applicant show housing lots over this potential road extension. The roadways are not considered at the time of a Comprehensive Land Use Plan Amendment but should be addressed at the time of Rezoning and Preliminary Plat Submittal.

Staff Recommendation: The Comprehensive Land Use Plan housing goals identifies the east side of Highway 65 for residential development. The recent plats approved on that side of Highway 65 have been for low density single family traditional development and one plat was developed with detached townhome similar to this concept plan. If this designation changes to residential a buffer to the commercial developments should be required as part of the development. Staff recommends approval of the amendment and will review the merits of the development when rezoning and plat applications are made.

Attachments

- Concept Plan
- Applicant Letter

This is a request for a change in zoning from commercial to residential on the following parcels:

The attached layout is for a preliminary discussion and can be modified with any agreed upon changes made thereto by city personnel or from engineering firms etc. If the zoning change is granted the owner will replat the entire property to accomplish the layout.

Owner moved back to the Isanti area in 1986 at which time the only properties on 65 within the city limits would have been the two gas stations and the burger top. In 35 years it appears that less than half of the property zoned commercial as set forth in the cities comprehensive plan has been developed.

It appears that the majority of the recent building in the commercial zone has highway 65 exposure, None of the proposed property is located on highway 65. This fact seriously impacts the ability of the owner to sell or otherwise develop this area. From what the owner has been able to develop, the present cost of commercial construction and the potential rents derived therefrom would not make for a bankable loan due to a short fall of cash flow.

If approved it does not appear that the owner will request any variances as to lot size and set back however that may change based on the results of engineering issues that may arise.

Reasons to approve the request

With the increased cost of lot development the proposed change is able to utilize the cities present infrastructure and thus insure a successful project. It has yet to be determined what associated costs may be attributed to this development due to use and sizing of the infrastructure. The lot costs in the area are only able to garner a certain price based on competition from the surrounding municipalities.

This is not considered spot zoning as there is housing stock to the south and east of the property and potentially to the north.

An association would be formed for this development which would result in consistent management of the outside appearance of the homes and what might be stored outside on the property.

Meets the needs of the City of Isanti 10 year housing plan.

Provides for much needed lots and housing for what most likelihood will be seniors or empty nest individuals.

The sample housing foot print would be an improvement over the housing stock that was built slab on grade by the school on highway 5.

A perm or other blockage would be a part of the western boundary providing a noise barrier for the residences. The perm would be located where the pipeline is presently located.

The proposed layout illustrates that this development will have an access to the south similar to what is on the present plat.

There is presently a storm water pond on the property which can be expanded and create a natural separation from this development and the day care.



**CITY OF ISANTI
PLANNING COMMISSION MEETING
TUESDAY, November 16, 2021
Immediately following 7:00pm City Council Meeting
CITY HALL**

- 1. Meeting Opening**
 - A. Call to Order
 - B. Pledge of Allegiance
 - C. Roll Call
 - D. Agenda Modifications
 - E. Adopt the Agenda

- 2. Meeting Minutes**
 - A. Approval of Minutes from the September 21, 2021 Planning Commission Meeting

- 3. Public Hearing**
 - A. Request by Kevin Johnson for approval of Rezoning PID's 16.134.0030, 16.134.0040, 16.134.0050, and 16.134.0060 from B-2 General Commercial to R-3A Low Density Multiple-Family Residential.

 - B. Request by Ever Cat Fuels for approval of a Conditional Use Permit Amendment under City Ordinance 445 Section 21, Article 2, Subdivision 5, said request is for site modifications and altered biodiesel distillation plans for Ever Cat Fuels located at 100 Isanti Pkwy NE, PID 16.128.0010.

- 4. Other Business**

- 5. Discussion Items**

- 6. Adjournment**

CITY OF ISANTI**PLANNING COMMISSION MEETING****TUESDAY, September 21, 2021**

Immediately following the 7:00 P.M City Council Meeting;

1. Meeting Opening

- A. Call to Order: Chair Johnson called the meeting to order at 8:15 p.m.
- B. Pledge of Allegiance
- C. Roll Call: Members present: Jeff Johnson, Steve Lundeen, Jimmy Gordan, Paul Bergley, Arissya Simon, Alexander Collins.
Members Absent: Dan Collison
Staff present: Community Development Director Sheila Sellman, Community Development Specialist Ryan Saltis, City Administrator Josi Wood, City Clerk Jaden Strand
- D. Agenda Modifications: None
- E. Adopt the Agenda
Motion to adopt the agenda by Lundeen, second by Bergley motion passes 6-0.

2. Meeting Minutes

- A. Approval of Minutes from the July 20, 2021 Planning Commission Meeting motion by Lundeen, second by Bergley motion passes 6-0.

3. Public Hearing

- A. Request by Kevin Johnson for a Comprehensive Land Use Plan Amendment for properties with PID 16.134.0030, 16.134.0040, 16.134.0050, 16.134.0060, from General Commercial to Low Density Residential Under City Ordinance 445 Section 21 Article 1.

Saltis explained the Comprehensive Land Use Plan Amendment request to guide the subject parcels from Commercial to Low Density Residential. The applicant provided a concept plan for a potential layout of lots on the parcels. The site layout was not considered at this stage of the process, but was shown to the Planning Commission to explain the ultimate goal of the site and why a comprehensive land use plan amendment is needed. The applicant, Kevin Johnson, was present at the meeting and available for questions. The Planning Commission asked how many lots there are proposed to be on the parcels. Kevin replied and said that the concept plan shows 38 lots in total but is subject to change due to engineering comments. Community Development Director Sellman reminded the Planning Commission that the site plans would be reviewed at a later time and that the only item in question is to change the parcels designation in the Comprehensive Plan from Commercial to Low Density Residential. A surrounding property owner, John Landsom of 529 8th Ave NE, was present at the public hearing. John expressed that he is in favor of the comprehensive land use plan amendment and that he would rather have houses as neighbors rather

than commercial buildings. The public hearing closed after this statement. Motion for approval of the comprehensive land use plan amendment to guide the subject parcels from General Commercial to Low Density Residential by Lundeen, second by Bergley, motion passed 6-0.

5. Other Business: None

6. Discussion Items: None

7. Adjournment: Motion by Bergley, 2nd by Simon to adjourn, motion passed 6-0, meeting adjourned at 8:30 p.m.

Respectfully submitted by Ryan Saltis, Community Development Specialist



MEMORANDUM

TO: Planning Commission

FROM: Ryan Saltis, Community Development Specialist

DATE: November 16, 2021

SUBJECT: Request by Kevin Johnson for a Rezoning, said request is to change the designation from B-2 General Commercial to R-3A Low Density Multiple Family Residential for PID's 16.134.0030, 16.134.0040, 16.134.0050, and 16.134.0060.

Overview/Background

The applicant, Kevin Johnson is requesting to change the zoning district designation of four parcels from B-2 General Commercial to R-3A Low Density Multiple Family Residential. The applicant is seeking to develop these sites as residential and would need the zoning district designation to be changed in order to do so. A comprehensive land use plan amendment for the four parcels was approved at the September 21st Planning Commission Meeting and the October 5th City Council Meeting. Rezoning the parcels is the next step in the process prior to the submittal of site plans.

Vacant land and single-family houses are located to the south of the site. Prairie Senior Cottages is located to the west of the proposed site and Krayola Kids daycare is to the northeast of the site.

Analysis

"R-3A" Low Density Multiple Family Residential Standards: The "R-3A" Low Density Multiple Family District is designed to provide for low density areas, which accommodate a variety of housing types, to include detached and attached single-family, two-family, duplexes, and attached and detached townhomes. These districts are intended to function as a transition area between the less intense single-family developments and the more intense multiple family districts. This district promotes more walkable neighborhoods with a variety of housing types.

The applicant is intending to develop the parcels as low-density multiple family residential housing, with the concept plan of the site showing a density of 2.4 units/acre. This would meet the maximum density in the Comprehensive Plan for low-density residential of 3 dwelling units per acre.

The future lots shall have to follow the regulations set forth by R-3A Zoning District:

Subdivision 7: Lot Requirements and Setbacks

A. Minimum Lot Size Requirements.

Detached Single family	7,500 square feet
Two-family	7,000 square feet per unit
Townhomes, Attached and Detached	6,000 square feet per unit

B. Minimum Lot Widths and Depths.

Lot Width

Single-family	60 feet
Two-family	60 feet per unit
Over two-family	None

Rezoning: The parcels are currently zoned B-2 General Commercial with all surrounding parcels being zoned commercial as well. There are parcels zoned R-1, R-2, and R-3A directly across 8th Ave NE. There are two single family houses located directly to the south of the parcels intended to be rezoned. At the September 21st Planning Commission Meeting, the homeowners of the property directly south were present and stated that they were in favor of rezoning the parcels and that they would rather have houses neighboring their property and not a commercial business. The applicant letter states that since these four parcels do not have Highway 65 access and exposure, that this impacts the ability of the owner to sell or develop the property.

Housing Needs: Isanti's Comprehensive Land Use Plan addresses a need for housing on the east side of the city. The applicant is proposing low density single family lots on the proposed parcels. Any future development in this area will need to provide buffers to surrounding land uses that are inconsistent in land uses.

Roadways: According to the Comprehensive Land Use Plan Transportation Maps, there are plans to extend 7th Avenue NE to the south. Rough sketches provided by the applicant show housing lots over this potential road extension. The roadways are not considered at the time of a Rezoning but should be addressed at the time of Preliminary Plat Submittal.

Staff Recommendation: The Comprehensive Land Use Plan housing goals identifies the east side of Highway 65 for residential development. The recent plats approved on that side of Highway 65 have been for low density single family traditional development and one plat was developed with detached townhome similar to this concept plan. If this designation changes to low density multiple family residential a buffer to the commercial developments and R-1 Zoning Districts shall be required as part of the development. Staff recommends approval of the rezoning and will review the merits of the development when plat applications are submitted. Approval of a rezoning shall require passage by a majority vote of the full City Council.

Attachments

- Applicant Letter
- Concept Plan

This is a request for a change in zoning from commercial to residential on the following parcels:

The attached layout is for a preliminary discussion and can be modified with any agreed upon changes made thereto by city personnel or from engineering firms etc. If the zoning change is granted the owner will replat the entire property to accomplish the layout.

Owner moved back to the Isanti area in 1986 at which time the only properties on 65 within the city limits would have been the two gas stations and the burger top. In 35 years it appears that less than half of the property zoned commercial as set forth in the cities comprehensive plan has been developed.

It appears that the majority of the recent building in the commercial zone has highway 65 exposure, None of the proposed property is located on highway 65. This fact seriously impacts the ability of the owner to sell or otherwise develop this area. From what the owner has been able to develop, the present cost of commercial construction and the potential rents derived therefrom would not make for a bankable loan due to a short fall of cash flow.

If approved it does not appear that the owner will request any variances as to lot size and set back however that may change based on the results of engineering issues that may arise.

Reasons to approve the request

With the increased cost of lot development the proposed change is able to utilize the cities present infrastructure and thus insure a successful project. It has yet to be determined what associated costs may be attributed to this development due to use and sizing of the infrastructure. The lot costs in the area are only able to garner a certain price based on competition from the surrounding municipalities.

This is not considered spot zoning as there is housing stock to the south and east of the property and potentially to the north.

An association would be formed for this development which would result in consistent management of the outside appearance of the homes and what might be stored outside on the property.

Meets the needs of the City of Isanti 10 year housing plan.

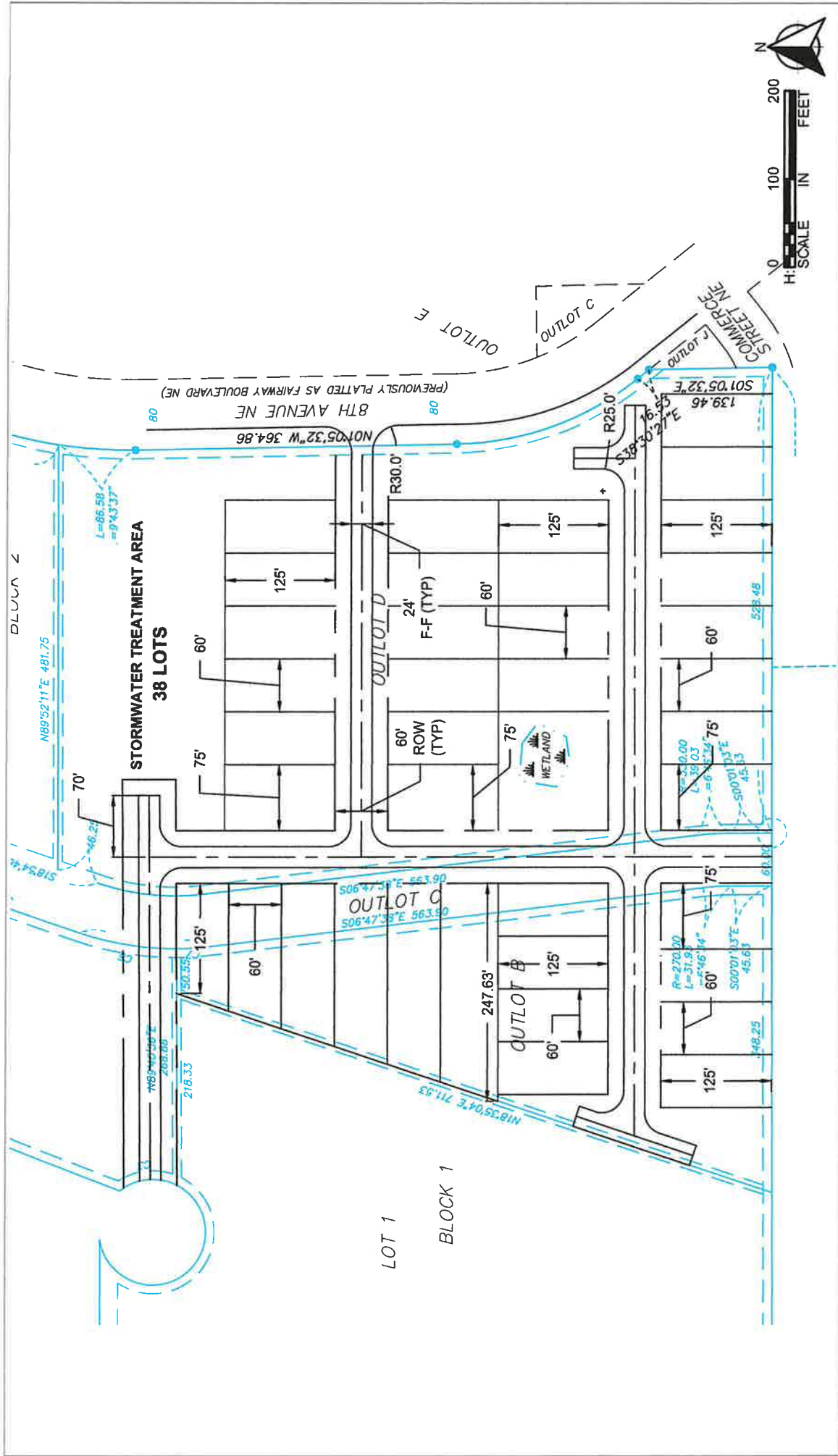
Provides for much needed lots and housing for what most likelihood will be seniors or empty nest individuals.

The sample housing foot print would be an improvement over the housing stock that was built slab on grade by the school on highway 5.

A perm or other blockage would be a part of the western boundary providing a noise barrier for the residences. The perm would be located where the pipeline is presently located.

The proposed layout illustrates that this development will have an access to the south similar to what is on the present plat.

There is presently a storm water pond on the property which can be expanded and create a natural separation from this development and the day care.



JOHNSON SUBDIVISION
 SITE PLAN
 CLIENT NAME

EXHIBIT 1



WSB PROJECT NO.:
 016835-000
 AUGUST 16, 2021



MEMORANDUM

TO: Planning Commission

FROM: Ryan Saltis, Community Development Specialist

DATE: November 16, 2021

SUBJECT: Request by Ever Cat Fuels, LLC for a Conditional Use Permit Amendment, said request is to modify site plans and operations for a biodiesel distillation system

Overview/Background

The applicant, Ever Cat Fuels, LLC is requesting to amend their Conditional Use Permit for their site at 100 Isanti Pkwy NE. Ever Cat Fuels is proposing to change their site plans and process of distilling biofuels as well as providing an outdoor storage structure to contain materials. The project was designed to further distill biodiesel produced by the plant but is not intended to change the total amount of biodiesel produced. In order to change the site plans and provide outdoor storage, a Conditional Use Permit Amendment is needed for review of city staff, the Planning Commission and City Council. The Conditional Use Permit has been amended in the past, the history of this is described below:

On October 16, 2007 the Isanti City Council approved a Conditional Use Permit (CUP) for Ever Cat Fuels, LLC for a Bio-Diesel Plant to be located on the property at 100 Isanti Parkway NE through Resolution No. 2007-245.

The City Council at their regularly scheduled meeting on April 1, 2014 had requested that the Planning Commission review and provide recommendations to the City Council on amendments to the CUP set forth in Resolution No. 2007-245 to address past complaints of fugitive odors coming from the Ever Cat premises. It has raised City Council concerns over public safety, environmental contamination and compliance with the terms of the CUP.

On May 6th, 2014, principals from Ever Cat Fuels, LLC and representatives from the City of Isanti met to discuss changes to the conditions set forth in Resolution No. 2007-245. The parties were able to reach a mutual agreement to modify the terms of the CUP to address odors and public safety.

Analysis

The applicants have submitted a project proposal for the distillation system, which included the current site plans and proposed site plans for the project:

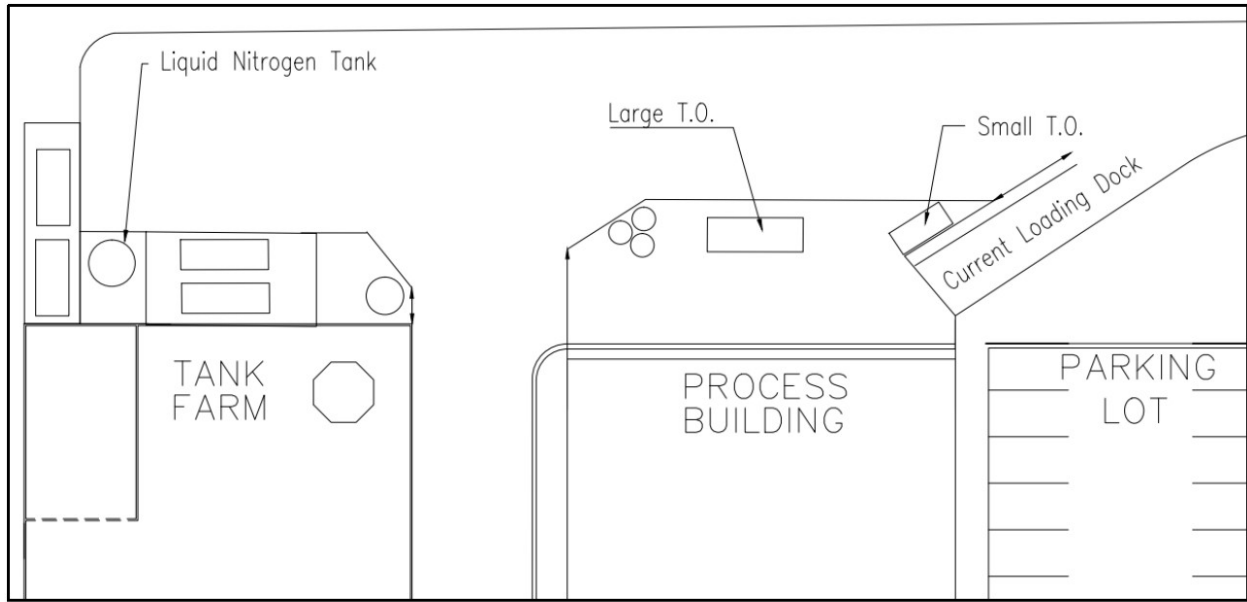


Figure 2: Current Site Plan of Cooling System at Ever Cat Fuels

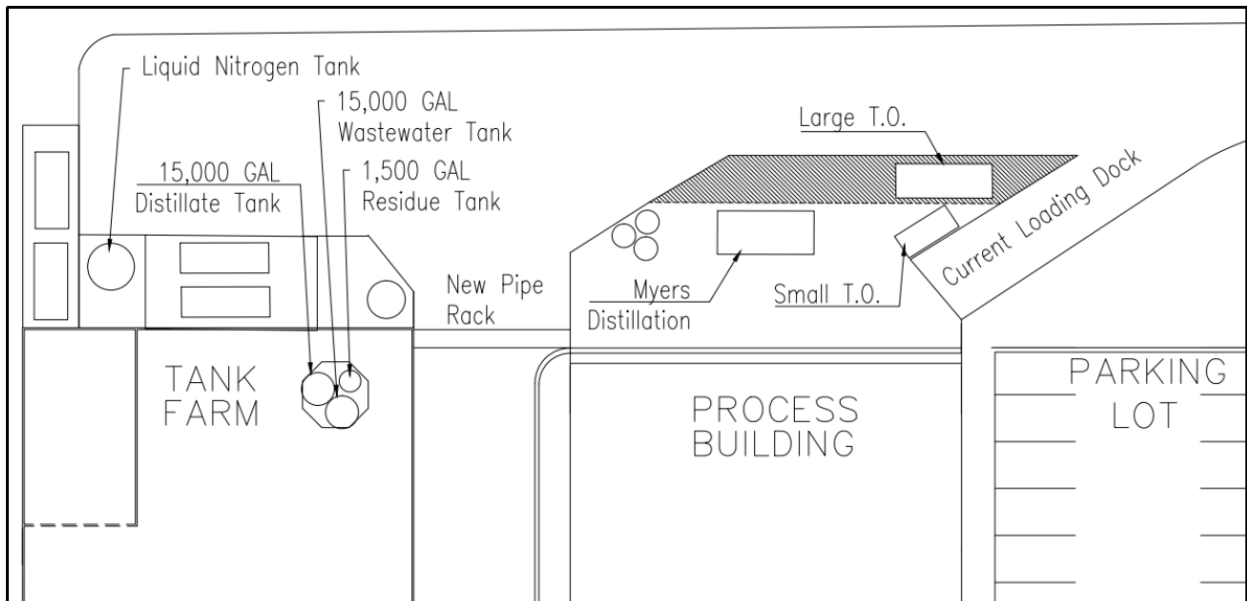


Figure 3: Proposed Site Plan for Distillation Systems at Ever Cat Fuels

The proposed site plans indicate an addition of the Myers Distillation System to the North of the Process Building, a new concrete pad for the relocation of the Large Thermal Oxidizer, as well as the addition of a distillate tank, wastewater tank, and residue tank to be placed on an existing octagonal concrete pad in the tank farm. This process will distill the biofuel to provide a product that is lighter in color and more desirable for consumers. City staff met on site with representatives of Ever Cat Fuels, LLC to understand the distillation process and site plan modifications. These site plan modifications will not alter traffic circulation for trucks entering and exiting the site.

After visiting the site, city staff would suggest adding the following conditions to the existing Conditional Use Permit:

- Outdoor storage of materials must follow City Ordinances Section 13, Article 2, Subd 15.
- Any additional structure provided on site for the storage of materials must meet current State Building Code regulations and plans must be reviewed for approval by the City's Building Official and Fire Chief.
- Site must comply with the Minnesota State Fire Code Chapter 1: Uniform fire safety standards, Chapter 50: Hazardous materials, Chapter 57: Flammable and Combustible Liquids, and Chapter 104.7.2: Technical Assistance.

The structure intended to be built on site shall follow the Outdoor Storage regulations set in City Ordinances Section 13, Article 2, Subd 15:

Subdivision 15: Outdoor Storage

- A. Outside storage areas shall be surfaced with bituminous, concrete, or other surfaces, including but not limited to crushed rock, Class 5, or recycled materials; as recommended by the Planning Commission and approved by the City Council.
The storage container/shed will be located on a concrete surface.
- B. Outside storage area shall not be placed within required parking or loading areas, which are deemed necessary to meet code requirements.
The location of the storage will not impact existing parking or loading areas of the bio-fuel trucks.
- C. Outside storage areas shall be located within the rear yard; however, outdoor storage may be located within the side yard, providing the side yard is not adjacent to or across the street from any residentially zoned property.
The location of the storage will be on the north end of the site (in the rear yard) and will not be located near any residential zoned areas.
- D. All outside storage areas shall be effectively screened year-round, by a wall, fence, or densely planted vegetation in accordance with Section 15 of this Ordinance.
The storage will be located in an area where it will be screened by existing equipment, fencing and vegetation and will not need any additional screening per the city's zoning ordinances.
- E. Cars, vans, and pickup trucks parked outside and used by employees and/or visitors in the normal course of business operation will not be construed as outdoor storage. Further, outside parked trucks and semitrailers used in conjunction with normal business activities will not be construed to be outdoor storage provided (a) the total number of trucks and semi-trailers does not exceed the number of docks and/or bay doors; (b) such vehicles are currently licensed by the State of Minnesota and are in the process of delivering or picking up goods or materials, and (c) such use is not construed as an operation listed as a

conditional use in the industrial zone. All other vehicles and/or equipment associated with the business shall meet the fencing and screening requirements as stipulated within this ordinance.

Trucks on site are used for collecting product or waste and will not be used as permanent outdoor storage.

The current Conditional Use Permit includes the following conditions:

1. The number of 9,000-gallon tankers coming and leaving the site on a given day shall not exceed nine (9), which would accommodate the maximum amount indicated by the petitioner of 30,000,000 gallons per year of bio-diesel. If additional truck tips are necessary, the petitioner shall request an amendment to the Conditional Use Permit.
2. The petitioner shall submit drawings or specification sheets for the fencing that will surround the property for review and approval by City Staff prior to construction.
3. The petitioner shall meet the requirements of the City Engineer as outlined in the MFRA memo dated 9.28.2007. The petitioner shall receive approval of all engineering plans prior to construction.
4. The engineering drawings shall be signed by a licensed Civil Engineer prior to City Engineer approval.
5. The petitioner shall satisfy all MPCA requirements as stipulated within the e-mail dated September 21, 2007. The petitioner shall provide proof of compliance with all MPCA rules and regulations, such documentation shall be submitted to the City.
6. The petitioner shall meet any additional requirements as stipulated by the City Administrator, City Engineer, and the MPCA.
7. The petitioner shall comply with Isanti Ordinance Number 420 related to stormwater management practices, including the prohibition on causing illegal discharges to the City stormwater system, and no product from the facility's manufacturing process shall be discharged to the City stormwater or ponding system.
8. The petitioner's discharge to the city sanitary sewer system shall be limited to domestic waste water, including wastewater from restrooms, laundry facilities, kitchen areas and housekeeping wash water. The petitioner shall implement housekeeping practices, including spill response practices as required by state law, to ensure that wash water from production areas does not include any avoidable amount of products used in the manufacturing process or the product of the manufacturing process.
9. All costs associated with maintenance/repair of city infrastructure due to violations of Isanti Ordinance Number 420 or the discharge of nondomestic wastewater, including products used in the manufacturing process or the product of the manufacturing process, that obstruct the flow in City sewers shall be paid by Ever Cat Fuels within 30 days of notice from the city.
10. All incidents (as defined herein) shall be reported to the City of Isanti's Mayor, City Administrator, Assistant City Administrator or Community Development Director or his or her designee within 12 hours of the knowledge of an occurrence.
11. Incidents shall be defined as:
 - a. Discharge of illegal substances to the City stormwater system or any discharge to the City sanitary system of nondomestic wastewater, including

- products used in the manufacturing processor the product of the manufacturing process.
- b. Fires or explosions.
 - c. Fugitive odors – i.e. the release of offensive or noxious odors into the atmosphere.
 - d. Ongoing MPCA or other environmental agency investigations and/or citations.
12. Ever Cat Fuels LLC shall notify the City of Isanti’s Mayor, City Administrator, Assistant City Administrator or Community Development Director or his or her designee at least 24 hours in advance of any predictable incidents via email or other written communication.
13. In accordance with Minnesota law, the breach of the conditions of the Conditional Use Permit may under certain circumstances be grounds for amendment or revocation of the Conditional Use Permit.

Staff Recommendation: After reviewing the modified site plans for the biofuel distillation system, staff believes that this process will benefit Ever Cat Fuels without risking the safety of the surrounding business or the public. Staff recommends approval of the Conditional Use Permit Amendment with the following conditions:

- Outdoor storage of materials must follow City Ordinances Section 13, Article 2, Subd 15.
- Any additional structure provided on site for the storage of materials must meet current State Building Code regulations and plans must be reviewed for approval by the City’s Building Official.
- Site must comply with the Minnesota State Fire Code Chapter 1: Uniform fire safety standards, Chapter 50: Hazardous materials, Chapter 57: Flammable and Combustible Liquids, and Chapter 104.7.2: Technical Assistance.

Attachments

- Project Proposal
- Fire Chief Memo

CONFIDENTIAL INFORMATION

PROJECT PROPOSAL

Biodiesel Distillation Project

Ever Cat Fuels, LLC

Proposal Prepared by

Nhan Tran

Andrew Johnson

10/22/2021



Letter of Transmittal

October 22, 2021

Sheila Sellman
City of Isanti
Isanti, MN 55040

Dear Ms. Sellman,

We are submitting the attached engineering proposal titled Biodiesel Distillation. This project was designed to further distill biodiesel produced by the plant. This project does not change the total amount of biodiesel produced by Ever Cat Fuels.

This proposal presents the engineering design for a biodiesel distillation system. This proposal includes operating conditions, required system cooling, and the site modification plan.

Please do not hesitate to contact us directly if you have any question regarding to the attached proposal.

Thank you,

Nhan Tran
100 Isanti Parkway NE
Isanti, MN 55040
Direct: (763) – 452 – 7272
Email: nhantran@evercatfuels.com

Andrew Johnson
100 Isanti Parkway NE
Isanti, MN 55040
Direct: (763) – 452 – 7273
Email: andrewjohnson@evercatfuels.com

Ever Cat Fuels, LLC Team:

Larry McNeff – Chief Executive Manager
Clayton McNeff – Chief Science Officer
Steven Rupp - Vice President
Mitch Gerold – General Manager

Derrick Knapp – Plant Manager
Nick Juhl – Maintenance Manager
Andrew Johnson – Process Engineer
Nhan Tran – Process Engineer

Table of Contents

Letter of Transmittal	2
1.0 Introduction	4
1.1 Facility Information	4
1.2 Project Information	4
2.0 Proposed Site Modifications	5
3.0 Timeline and Gantt chart.....	6
4. Appendix	6

1.0 Introduction

1.1 Facility Information

Ever Cat Fuels, LLC (Ever Cat) operates a 3.1 million gallon per year biodiesel production facility. Biodiesel at the facility is produced using the Mcgyan® Process. The patented process performs a catalytic conversion of waste vegetable oil into biodiesel by trans-esterification. Methanol is added to the process to achieve the appropriate reaction. Residual and unreacted methanol is recovered and recycled back into the process after purification through distillation.

1.2 Project Information

The goal of this proposal is to produce a fuel which is lighter in color. This will be done by adding a distillation system, which will further process and purify the biodiesel which is already produced at the facility. This project does not change the total amount of fuel produced per year by Ever Cat Fuels, LLC.

The proposed distillation method is the Myers Macro-36 Centrifugal Distillation System (Figure 1). This equipment works by injecting preheated biodiesel onto the center of a spinning, heated disk. The centrifugal force moves the fuel out towards the edge of the disk, resulting in a hot thin film. From there, the lighter biodiesel evaporates off the plate and condenses on the dome surface where it is then transferred to a storage tank. The biodiesel vapor is condensed using water/glycol heat transfer fluid using a cooling loop. The heavier phase fuel falls off the edge of the spinning disk and is transferred into a separate storage tank. The system operates at high vacuum range that is driven by the oil ejector pump and followed by the mechanical vacuum pump. All outlet vapors from the mechanical vacuum pump will be captured and incinerated using the existing thermal oxidizers located at the facility.



Figure 1: Myers Macro-36 Distillation System

2.0 Proposed Site Modifications

To achieve the goal of this project, some minor site modifications are required. The following plan describes the proposed site modifications. Figures 2 and 3 show the north side of the Ever Cat Fuels site before and after the project, respectively. Site modifications include the addition of one new concrete pad (hatched area in Figure 3) to be poured. The new pad dimensions are 66' x 11' x 13". The total surface area that will be poured is 720 ft² and will be located to the north of the existing pad as shown in Figure 3. Some of the existing asphalt (approximately 6" thick) will need to be removed before the pad is poured. A new 15,000-gallon wastewater tank will be added in the tank farm. Once the new pad is cured, the primary thermal oxidizer (large TO) will be relocated to that pad in an orientation as shown in Figure 3. The piping configurations for the two thermal oxidizers will remain the same. This modification leaves a space where the heated container will be installed to store the Myers distillation system. The container is a high cube type with external dimensions of 20' x 8' x 9'6".

In addition, modifications to the tank farm are proposed to install new biodiesel storage tanks for the Myers distillation system and a new wastewater tank. One biodiesel storage tank will be for biodiesel distillate product with a dimension of 11' x 21'. This tank and a tank for biodiesel residue with a dimension of 6' x 8' will share an existing cement pad with a new 11' x 21' wastewater tank as shown in Figure 3. The proposed pad is also shown in Section 5, Figure 6. The biodiesel distillate tank is designed to have a volume of 15,000 gallons. The residue tank is designed to have a volume of 2,500 gallons. A new pipe rack (22' x 14') is proposed to be installed across the truck driveway and it is designed to have three tiers that can hold either conduit or piping. The pipe rack is capable for future expansion and designed to have drilled holes for additional horizontal supports if needed. The wastewater currently being transferred from T-118 into the portable tanker trailer will now be transferred via the pipe rack to the new wastewater tank located in tank farm.

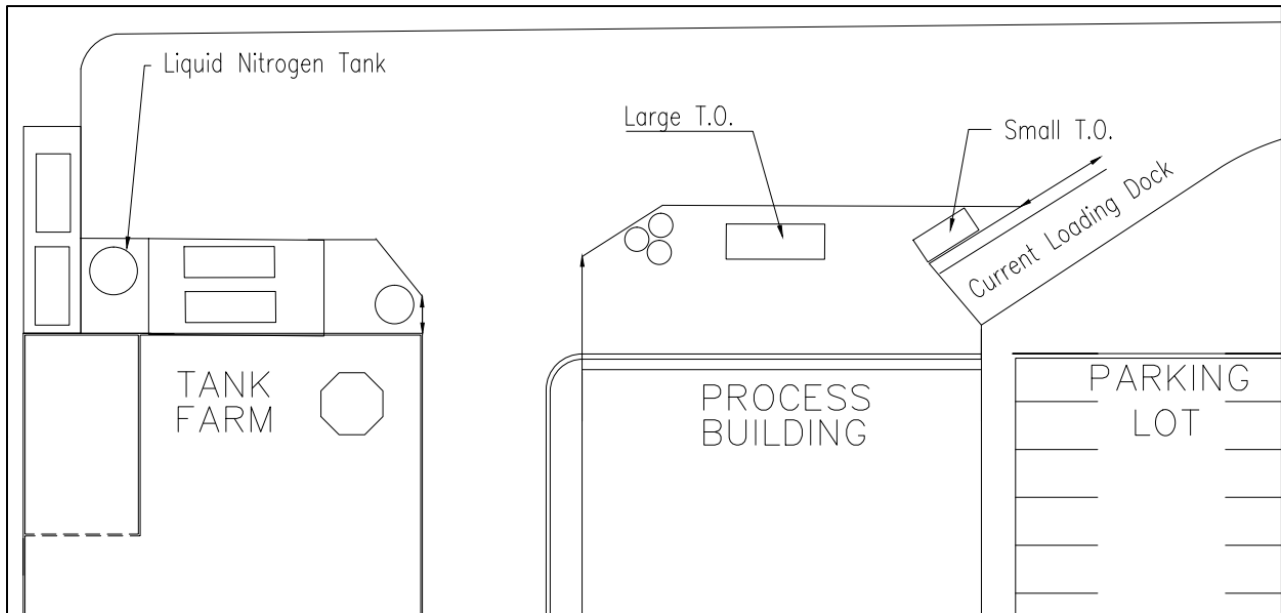


Figure 2: Current Site Plan of Cooling System at Ever Cat Fuels

CONFIDENTIAL INFORMATION

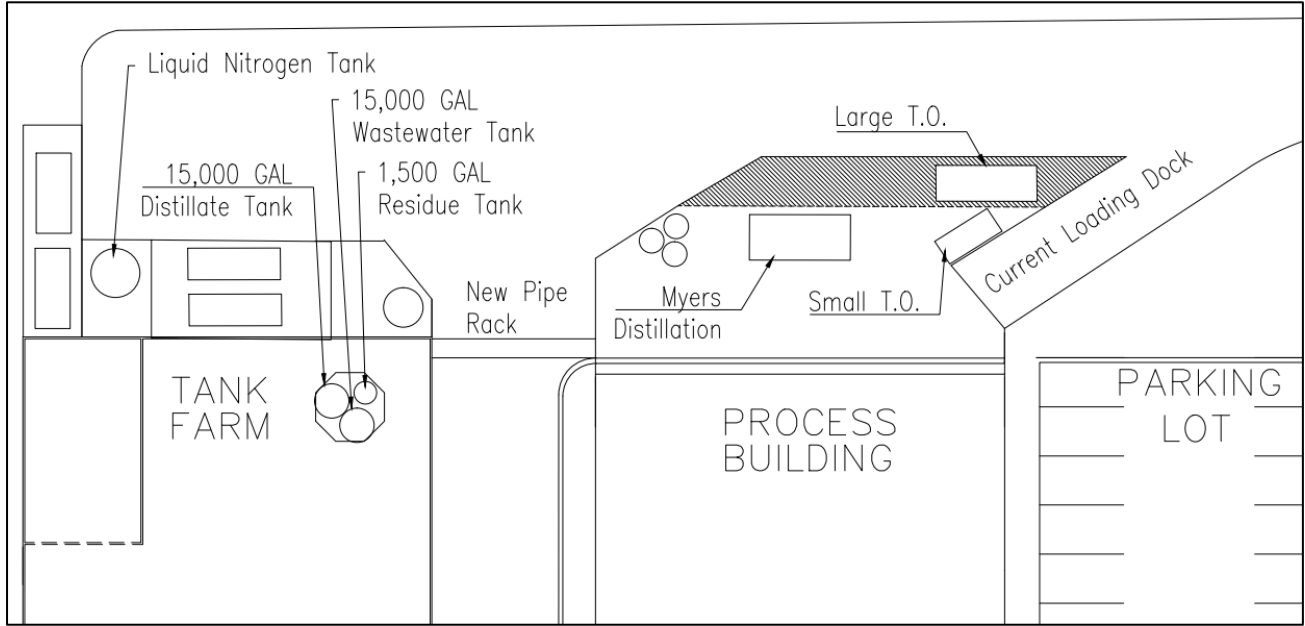


Figure 3: Proposed Site Plan for Distillation Systems at Ever Cat Fuels

3.0 Timeline and Gantt chart

Table 1 below shows a gantt chart for the proposed project. The chart is separated into standard calendar quarters, i.e., the first quarter is January, February, and March. According to the plan, final project design should wrap up by December of 2021. Ordering and collection of the individual components will occur in the winter and early summer. Installation of the system will begin in the summer of 2022.

Table 1: Distillation Project Gantt Chart

Tasks	2021				2022			
	Q1	Q2	Q3	Q4	Q1	Q2	Q3	Q4
Initial Project Design								
Project Proposal Presentation								
Final Project Design and Development								
Ordering Components								
Installation								
Project Start-up								

4. Appendix

CONFIDENTIAL INFORMATION

Figure 4 below shows the proposed site for the Myers distillation system.



Figure 4: Future Location of Myers Distillation System

Figure 5 shows the proposed three tier pipe rack design.

CONFIDENTIAL INFORMATION

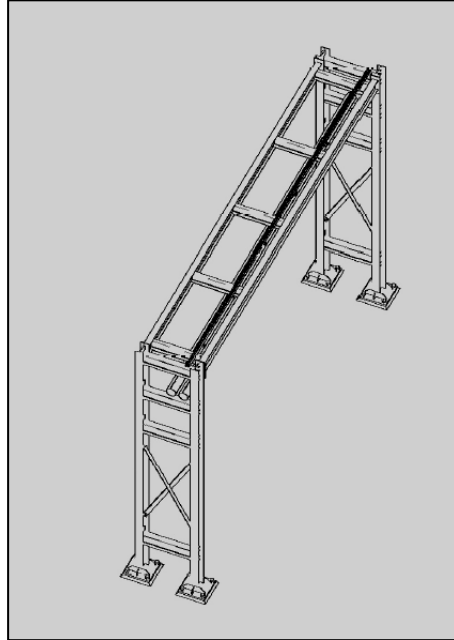


Figure 5: SafeRack 3-tier Pipe Rack

Figure 6 shows the existing tank pad to be used for the biodiesel distillate, biodiesel residue and wastewater tanks. The pad is located in the northeast corner of the tank farm. The existing tank shown in the photo will be repurposed.



Figure 6: An Existing Pad in Tank Farm Designated for Wastewater and Distillation Products

Figure 7 shows the high cube shipping container to be used to house the Myers distillation system on the north pad.

CONFIDENTIAL INFORMATION



Figure 7: high Cube Shipping Container Used to House Distillation System

November 12, 2021

City of Isanti Planning Commission
110 1st Ave NW
Isanti, MN 55040



RE: Ever Cat Fuels, LLC Biodiesel 2021 Distillation Project

City of Isanti Planning Commissioners,

I have met with and reviewed the proposed Conditional Use Permit Amendment for Ever Cat Fuels distillation project.

Isanti Fire approves the amendment application, pending compliance with the following Minnesota State Fire Code(s), pursuant to City of Isanti Code 111-13, Adoption of Minnesota State Fire Code.

1. MSFC Chapter 1 | Uniform fire safety standards shall apply to administrative, operational and maintenance of existing structures, facilities and conditions
2. MSFC Chapter 50 | Hazardous materials- General Provisions
3. MSFC Chapter 57 | Flammable and Combustible Liquids; scope and application
4. MSFC 104.7.2 | Technical Assistance. Owner to seek qualified engineer approval of the proposal, equipment and operation to ensure compliance with MSFC.

Sincerely,

A handwritten signature in blue ink, appearing to be "Alan Jankovich", written over a faint grid background.

Alan Jankovich | Fire Chief
Isanti Fire District



**CITY OF ISANTI
PLANNING COMMISSION MEETING
TUESDAY, December 21, 2021
Immediately following 7:00pm City Council Meeting
CITY HALL**

- 1. Meeting Opening**
 - A. Call to Order
 - B. Pledge of Allegiance
 - C. Roll Call
 - D. Agenda Modifications
 - E. Adopt the Agenda

- 2. Meeting Minutes**
 - A. Approval of Minutes from the November 16, 2021 Planning Commission Meeting

- 3. Public Hearing**
 - A. Request by New Hope Community Church for approval of a Conditional Use Permit under City Ordinance 445 Section 21, Article 2, said request is to allow a Religious Institution on PID 05.029.1900 in the R-1 Tier 1 Zoning District.

 - B. Request by Sportsmen Specialties for a Conditional Use Permit Amendment under City Ordinance 445 Section 21, Article 2, Subdivision 5, said request is for site modifications for an auto sales lot located at 305 Main St E.

- 4. Other Business**

- 5. Discussion Items**

- 6. Adjournment**

PLANNING COMMISSION MEETING

TUESDAY, November 16, 2021

Immediately following the 7:00 P.M City Council Meeting;

1. Meeting Opening

- A. Call to Order: Chair Johnson called the meeting to order at 7:40 p.m.
- B. Pledge of Allegiance
- C. Roll Call: Members present: Jeff Johnson, Steve Lundeen, Jimmy Gordan, Paul Bergley, Dan Collison, Arissya Simon, Alexander Collins.
Members Absent: None
Staff present: Community Development Specialist Ryan Saltis, Finance Director Mike Betker, HR Director Katie Grotte
- D. Agenda Modifications: None
- E. Adopt the Agenda
Motion to adopt the agenda by Lundeen, second by Collison motion passes 7-0.

2. Meeting Minutes

- A. Approval of Minutes from the September 21, 2021 Planning Commission Meeting motion by Bergley, second by Collison motion passes 7-0.

3. Public Hearing

- A. Request by Kevin Johnson for approval of Rezoning PID's 16.134.0030, 16.134.0040, 16.134.0050, 16.134.0060 from B-2 General Commercial to R-3A Low Density Multiple-Family Residential.
Saltis explained the request to rezone the subject parcels from B-2 General Commercial to R-3A Low Density Residential. It was explained that these parcels have previously gone through a Comprehensive Land Use Plan Amendment and the Planning Commission and City Council have approved this. The Comprehensive Land Use Amendment was the first step towards guiding the parcels designation, rezoning will allow for a variety of housing types available to build on these parcels. The Planning Commission was reminded that surrounding houses were in favor of the rezoning from commercial to residential as they would rather have houses surrounding their property than a business. There was nobody present at the public hearing to speak on this item. Motion for approval of the parcels rezoning from B-2 General Commercial to R-3A Low Density Multiple-Family Residential by Lundeen, second by Collison, motion passed 7-0.
- B. Request by Ever Cat Fuels for approval of a Conditional Use Permit Amendment under City Ordinance 445 Section 21, Article 2, Subdivision 5, said request is for site modifications and altered biodiesel distillation plans for Ever Cat Fuels located at 100 Isanti Pkwy NE, PID 16.128.0010.

Saltis presented the CUP Amendment request for Ever Cat Fuels. Collison asked whether outdoor storage is allowed in this zoning district. Saltis replied that outdoor storage is allowed in the Industrial District with a Conditional Use Permit, and that regulations for storage will be added to the existing CUP for the site. The location of Ever Cat Fuels was discussed in regards to the site modifications and outdoor storage, in that the equipment and storage will not have an impact on surrounding businesses. Planning Commission members requested a representative speak on the item. Andrew Johnson, a representative from Ever Cat Fuels further explained the concept plan for the site and described the storage container being a cheaper and easier option than a built shed. Saltis explained that the conditions suggested by city staff included that any storage on site would have to be reviewed by the City's Building Official to ensure that it meets state building codes. Other conditions were pointed out for fire safety and were requested by the Fire Chief. There was nobody else from the public present at the meeting to speak on this item. A motion was made to adopt the CUP Amendment with conditions listed in the November 16, 2021 staff report by Lundeen, second by Collison, motion passed 7-0.

5. Other Business: None

6. Discussion Items: None

7. Adjournment: Motion by Bergley, 2nd by Collison to adjourn, motion passed 7-0, meeting adjourned at 8:00 p.m.

Respectfully submitted by Ryan Saltis, Community Development Specialist



MEMORANDUM

TO: Planning Commission

FROM: Ryan Saltis, Community Development Specialist

DATE: December 21, 2021

SUBJECT: Conditional Use Permit for a Religious Institution at PID 05.029.1900 within the R-1 Tier 1 Zoning District

Request:

Request from New Hope Community Church for a Conditional Use Permit for a Religious Institution at PID 05.029.1900 within the R-1 Tier 1 Zoning District.

Overview/Background:

The applicant, New Hope Community Church is requesting a Conditional Use Permit for a Religious Institution to be allowed on PID 05.029.1900 within the city's R-1 Tier 1 Zoning District. This parcel is located just south of O'Reilly Auto Parts and has frontage along Highway 65. The applicant is looking to develop the lot into a church with a large parking area with potential to expand in the future as needed. This vacant parcel is roughly 40 acres; however, a majority of this acreage is made up of the Sroga Slough and surrounding wetlands. The concept plans show the church and parking area on the west end of the parcel near Highway 65. The concept plan is included as an attachment to this memo, but shall not be considered for approval as part of the Conditional Use Permit review. The applicant will have to submit site plans for review by city staff at a later time in which these plans will be in consideration for approval.

Analysis of Application

The applicant has submitted a Conditional Use Permit Application for a Religious Institution in the R-1 Tier 1 Zoning District.

A "Religious Institution" is defined in Section 2 of the Zoning Ordinances as follows:

"A place of worship or religious assembly, where people regularly assemble for religious purposes and related social events with related accessory uses and facilities such as the following: rectory or convent; private school, meeting hall, offices for administration, or licensed child or adult day care; and which is maintained and controlled by a religious body organized to sustain public worship and religious ceremonies."

The Planning Commission shall hold a public hearing and consider possible adverse effects of the proposed Conditional Use. The judgment of the Planning Commission shall be based upon, but is not limited to the following factors:

1. The proposed action has been considered in relation to the specific policies and provisions of and has been found to be consistent with the goals and objectives of the Comprehensive Plan, including public facilities and capital improvement plans.
The nature of the business is consistent with the goals and objectives of Isanti's Comprehensive Plan to develop along Highway 65.
2. The proposed action meets the purpose and intent of this Ordinance and the underlying zoning district. *A Religious Institution is a Conditional Use in the R-1 Tier 1 zoning district, applying for the CUP meets the purpose and intent.*
3. The establishment, maintenance or operation of the conditional use will promote and enhance the general public welfare and will not be detrimental or endanger the public health, safety, morals, or comfort. *The operation of a religious institution will enhance the community and general welfare and is not anticipated to endanger the public's health, safety, morals or comfort.*
4. The conditional use will not be injurious to the use and enjoyment of other property within the immediate vicinity for the purposes already permitted; nor substantially diminish or impair property values within the neighborhood. *The conditional use is not anticipated to diminish or impair surrounding property values. Surrounding uses of this parcel are commercial properties, state highway, and residential areas. Surrounding residential areas are intended to be naturally shielded by existing mature trees and wetlands.*
5. The establishment of the conditional use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district. *The conditional use will not impede on the normal and orderly development and improvement of surrounding property.*
6. Adequate public facilities and services are available or can be reasonably provided to accommodate the use which is proposed. *The site is located just south of city limits and is part of the tier 1 Zoning District. The parcel has access to city sewer and water and would be able to reasonably accommodate the conditional use for a religious institution. In order to access the city water and sewer, the parcel would have to be annexed into the city limits, otherwise the parcel will have to be serviced by private well and septic.*
7. The conditional use shall, in all other respects, conform to the applicable regulations of the district in which it is located. *The proposed conditional use conforms to the regulations set in the R-1 Tier 1 Zoning District. Plans for the building and site shall be reviewed under the R-1 Tier 1 Zoning District and approved by Planning Commission and City Council prior to future construction.*
8. The conditional use complies with the general and specific performance standards as specified by within this Article. *The conditional use meets this requirement.*

Staff Recommendation:

Staff recommends approval of the Conditional Use Permit for a Religious Institution at PID 05.029.1900 within the city's R-1 Tier 1 Zoning District. Public Right of Way separates this parcel with the surrounding parcels and the site will have natural buffers of existing mature trees and wetlands alleviating impacts on nearby commercial and residential properties. At this time staff does not have recommendations for conditions, if the Planning Commission would like to add conditions to this CUP it should be discussed at the public hearing.

Attachments:

- Applicant Letter
- Concept Plan



November 2021

Narrative of the Project for PID 0502291900 in Isanti.

New Hope Community Church (NHCC) is in the process of completing its due diligence in anticipation of purchasing the above referenced property for a future church located on Hwy 65 between O'Reilly's on the north and P&M Truss on the south. NHCC would intend to develop primarily the west boundary of the property for the church as shown on the site plan that is included in this packet of information. It is our belief that this site will be a wonderful addition to the Hwy 65 corridor and the City of Isanti.

It is our understanding upon meeting with the City Officials, that a church is a permitted use of this property located within the Tier 1 district subject to an approved CUP. In order for NHCC to have an approved CUP from the city, there is significant cost and detail required in terms of building plans, detailed site plan, utility plan, etc. which will need to be done when development of the site for a church is to be undertaken. At this time, there is no specific time frame to develop the site, but our desire is to do our due diligence to determine if a purchase of the property should be made so that when we are ready to begin development of the site that there are no obvious obstacles to prevent our intended use.

We have completed the following as a part of our due diligence:

1. General site plan showing setbacks as required by the city.
2. A wetland delineation done by Bolton and Menk.
3. A survey completed by the MNDNR to determine the high-water mark on the property to determine the setbacks needed.
4. Boundary Survey of the property.
5. Phase I Environmental Study.
6. CUP application with information as we know it.
7. Site Plan Review Application.

It should be noted that the above information/reports have not indicated any issues of concern related to the development of the property.

It has not been determined if NHCC will want to access sewer/water utilities or if we will explore the use of a well and septic.

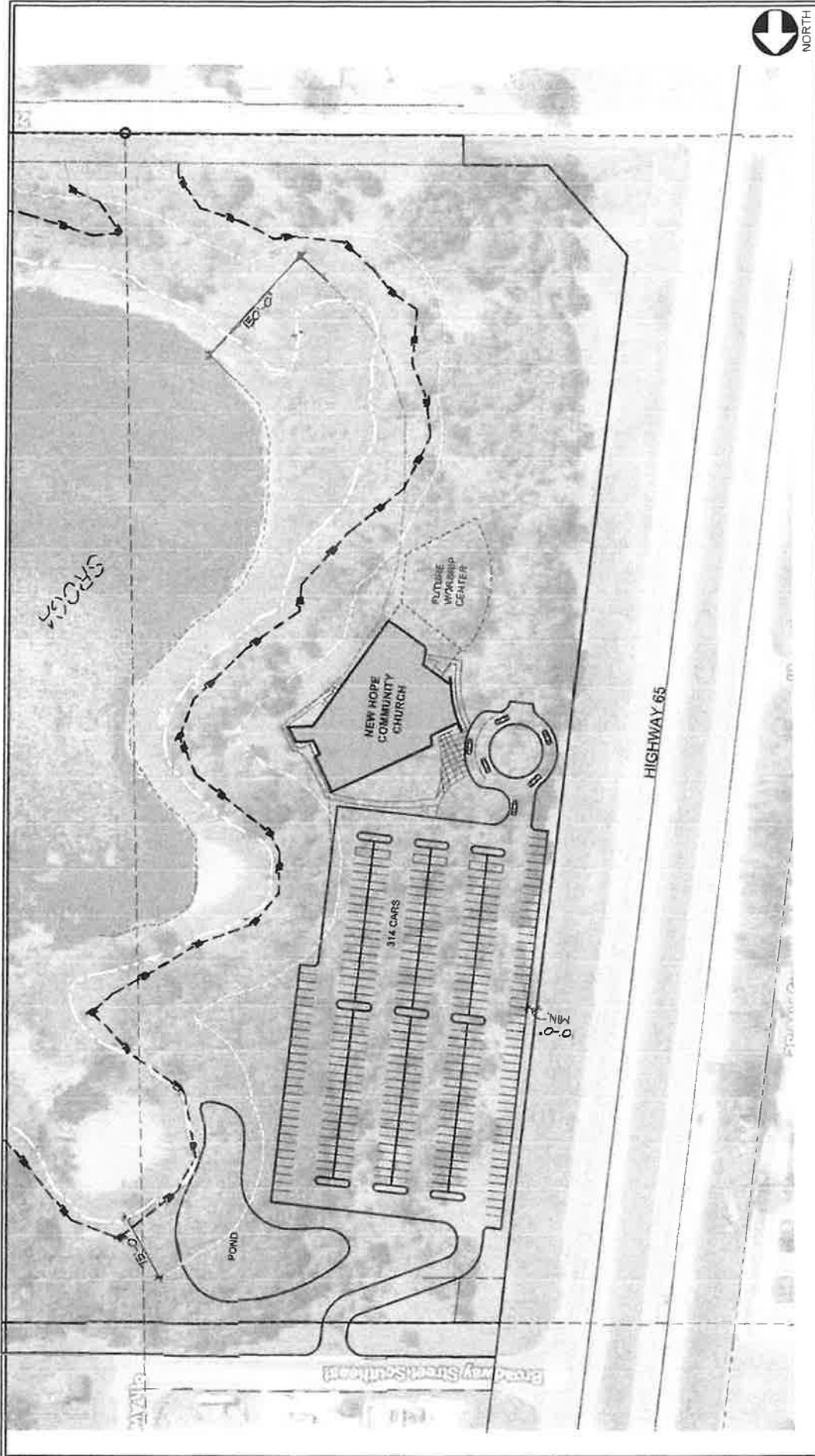
We are requesting to have the City of Isanti give NHCC confidence that they will be able to develop the site for a church subject to the details required for an approved CUP.

On a further note, we want to thank and acknowledge the City of Isanti officials, Bolton & Menk, MNDNR and the Isanti County Zoning Office for their wonderful help to us in the process of doing our due diligence related to the potential development of this property.

Many thanks for your consideration.

A handwritten signature in black ink, appearing to read 'Brian Larson', is written over a light blue horizontal line.

Brian Larson
New Hope Community Church
Director of Operations



ARCHITECTURAL CONSORTIUM L.L.C.
 1800 West Lake Street, Suite 127 612-435-0030
 www.3pds.com MN 55408 www.archconsort.com

NEW HOPE COMMUNITY CHURCH
 ISANTI, MN

SITE PLAN
 SCALE: 1"=100'-0"

PROJECT NUMBER	14-2010-01
CLIENT	ARCHITECTURAL CONSORTIUM L.L.C.
DATE	11/12/14
SCALE	1"=100'-0"
A1-B	

Architectural Consortium, L.L.C., 2021



MEMORANDUM

TO: Planning Commission

FROM: Stephanie Hillesheim, Community Development Director

DATE: December 21, 2021

SUBJECT: Conditional Use Permit Amendment for Auto Sales located at 305 Main St. East

Request:

Request from Jim Bergman/Sportsmen Specialties for a Conditional Use Permit Amendment for Auto Sales at PID 16.029.0102 within the B-2 Zoning District.

Overview/Background:

The applicant, Jim Bergman of Sportsmen Specialties, is requesting a Conditional Use Permit Amendment to expand Auto Sales on PID 16.029.0102 within the city's B-2 General Business Zoning District. This parcel is the current location of the Hurricane Carwash. The applicant is looking to expand the number of allowed spaces for Auto Sales from 5, as allowed by the existing Conditional Use Permit established in 2003, to up to 15 vehicles max. The concept plan is included as an attachment to this memo.

Analysis of Application

The applicant has submitted a Conditional Use Permit Amendment Application for Auto Sales in the B-2 General Business Zoning District.

“Auto Sales” is defined in Section 7 of the Zoning Ordinances as follows:

“Automobile sales and service, with accessory open sales lot, subject to those standards as provided within Section 13 of this Ordinance.”

An “Open Sales Lot” is outlined in Section 13, Subdivision 12 as:

- A. Open sales lots and parking shall be paved with concrete or bituminous before the operation begins and shall be maintained to control dust, drainage, and erosion.
- B. Interior concrete and asphalt curbs shall be constructed on the property to separate driving / parking surfaces from landscaped areas.
- C. A strip of not less than five (5) feet adjacent to the public right-of-way shall be landscaped or screened in accordance with the provisions as set forth in Section 15 of this Ordinance.
- D. Open sales area shall be set back a minimum of ten (10) feet from the property line.
- E. Required off-street parking and loading shall not be used for outdoor sales or storage and shall meet the requirements of Section 17.

F. Solid screening to a minimum height of six (6) feet shall be provided along any portion of the open sales lot abutting a residential property or district. Such screening shall consist of a continuous landscape berm, solid wood fence, wall, or other comparable material. Fencing shall be constructed of wood or comparable material and should be of an ornamental or decorative design. If a chain link or wood fence is used, landscaping shall be provided on the outside of the fence facing the abutting residential property or district

The Planning Commission shall hold a public hearing and consider possible adverse effects of expanding the existing Conditional Use. The judgment of the Planning Commission shall be based upon, but is not limited to the following factors:

1. The proposed action has been considered in relation to the specific policies and provisions of and has been found to be consistent with the goals and objectives of the Comprehensive Plan, including public facilities and capital improvement plans.
The nature of the business is consistent with the goals and objectives of Isanti's Comprehensive Plan to develop along Highway 65.
2. The proposed action meets the purpose and intent of this Ordinance and the underlying zoning district. *Auto Sales is a Conditional Use in B-2 General Business zoning district, applying for the CUP meets the purpose and intent.*
3. The establishment, maintenance or operation of the conditional use will promote and enhance the general public welfare and will not be detrimental or endanger the public health, safety, morals, or comfort. *The operation of auto sales will enhance the community and general welfare and is not anticipated to endanger the public's health, safety, morals or comfort.*
4. The conditional use will not be injurious to the use and enjoyment of other property within the immediate vicinity for the purposes already permitted; nor substantially diminish or impair property values within the neighborhood. *The conditional use is not anticipated to diminish or impair surrounding property values. Surrounding uses of this parcel are commercial properties, state highway, and residential areas. Adjacent residential properties are shielded by existing fencing.*
5. The establishment of the conditional use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district. *The conditional use will not impede on the normal and orderly development and improvement of surrounding property.*
6. Adequate public facilities and services are available or can be reasonably provided to accommodate the use which is proposed. *The site is already connected to and serviced by adequate utilities.*
7. The conditional use shall, in all other respects, conform to the applicable regulations of the district in which it is located. *The proposed conditional use amendment does not maintain adequate parking standards or fire access to the site. The intended use does conform to the other applicable regulations of the district.*
8. The conditional use complies with the general and specific performance standards as specified by within this Article. *The conditional use meets this requirement.*

Staff Recommendation:

Staff recommends denial of the Amendment to the Conditional Use Permit to expand the number of vehicles allowed at PID 16.029.0102 within the city's B-2 General Business Zoning District. The number of parking spaces required and fire access would not be maintained. Staff recommends the conditions of the existing Conditional Use Permit for PID 16.029.0102 to remain the same, to allow for a maximum of 5 vehicles. The existing Conditional Use Permit for Auto Sales at the property is attached. If the Planning Commission would like to add or remove conditions to this CUP it should be discussed at the public hearing.

Attachments:

- Application
- Applicant Letter
- Concept Plan
- Existing Conditional Use Permit



CONDITIONAL USE PERMIT APPLICATION

Conditional Use Permit:
\$325 + \$1,500 Escrow
Conditional Use Permit Amendment:
\$275 + \$500 Escrow

Applicant Name: Jim Bergman / Sportsmen Specialties

Address: 35002 Raven St NW

City: Cambridge State: MN Zip: 55008

Phone: 763-691-0301 Fax: 763-691-0302 Cell: 763-238-9155 E-mail: allstatestransport@hotmail.com

Fee Owner and Consent of Application: Jim Bergman / Sportsmen Specialties

Address: 35002 Raven St NW

City: Cambridge State: MN Zip: 55008

Phone: 763-691-0301 Fax: 763-691-0302 Cell: 763-238-9155 E-mail: allstatestransport@hotmail.com

Project/Development Name: Sportsmen Specialties Car Lot

Address or General Location of the Property: 305 Main St East, Isanti MN 55040

Legal Description of Property Involved: see attached

Present Use of Property: part of building used for car wash

Proposed Use of Property: used car sales

Present Zoning: B-2 General Business Present Land Use Designation: _____

This application shall be completed in full and shall be accompanied by all information and plans required by applicable City Ordinance provisions. Before filing this application, you should contact the Community Development Department to determine the specific ordinance and procedural requirements applicable to your application. A determination of completeness will be made by City staff and a written notice of application deficiencies shall be mailed to the applicant.

This is to certify that I am making application for the described action by the City and I am responsible for complying with all City requirements with regard to this request. This application should be processed in my name. I am the party whom the City should contact regarding any matter pertaining to this application. I have attached a copy of proof of ownership (either copy of Owner's

Duplicate Certificate of Title, Abstract of Title or Purchase Agreement), or I am the authorized person to make this application and the fee owner has signed this application.

I will keep myself informed of the deadlines for submission of materials and the progress of this application. I further understand that additional fees may be charged for consulting fees, feasibility studies, etc. An estimate shall be provided prior to any authorization to proceed with the study. The documents and information I have submitted are true and correct to the best of my knowledge.

Applicant Signature: [Signature] Date: 12/3/21
Property Owner Signature: [Signature] Date: 12/3/21
Fee Owner Signature: [Signature] Date: 12/3/21

Items to Accompany Application

1. Application Form
2. Application Fees
3. Items as specified within the Checklist provided, unless otherwise indicated by City Staff.
4. Proof of Ownership (either copy of Owner's Duplicate Certificate of Title, Abstract of Title or Purchase Agreement) or letter from property owner granting approval.
5. A list of all property owners within 350 feet from the property in question. Such list must be certified by the County Assessor's Office.
6. Written narrative and graphic materials fully describing and explaining the proposed change, development, or use.
7. A Certificate of Survey and complete legal description of the subject site.
8. Certification of taxes paid on the property.

Acceptance of Application

The application is subject to acceptance by the City upon review of the application and necessary materials being submitted. City engineering approval may be required. Application materials shall meet engineering requirements set forth by the city engineer or as stated within the city code.

—STAFF USE ONLY—

Date Received: <u>12/3/2021</u>	Date application deemed complete: _____
Planning Commission Meeting Date: _____	City Council Meeting Date: _____
60-Day Action Agency Date: _____	
_____	_____
Community Development Director/Designee	Date

EXHIBIT "A"

That part of the Northeast Quarter of the Southwest Quarter of Section 29, Township 35, Range 23, Isanti County, Minnesota, described as follows, to-wit: Beginning at the intersection of the North right-of-way line of the public town road as presently existing and laid out, said road being the extension of Broadway Street in the Village of Isanti, Minnesota, with the West line of said Northeast Quarter of Southwest Quarter, said intersection being 33 feet North of the Southwest corner of said Northeast Quarter of Southwest Quarter, thence on an assumed bearing of South 89 degrees 59 minutes 27 seconds East, along said North right-of-way line of said road, and parallel to the South line of said Northeast Quarter of Southwest Quarter a distance of 236.70 feet; thence North 00 degrees 06 minutes 41 seconds East a distance of 193.82 feet to the South right-of-way line of the public road as presently existing and laid out, said road being the extension of Main Street in the Village of Isanti, Minnesota, and being described in that certain Highway Easement recorded in Book Q of Miscellaneous, Page 128-9; thence Westerly along said South right-of-way line of said Main Street as extended Easterly to said Highway No. 65, a distance of 241.35 feet to the intersection of said South right-of-way line with the West line of said Northeast Quarter of Southwest Quarter, thence South and along said West line of said Northeast Quarter of Southwest Quarter a distance of 193.14 feet, more or less, to the place of beginning and there to terminate.

Tax ID Number: 160290102

Parking

Bank Building

Driveway Between Buildings

Car Wash Bays

Office

Parking

Parking

Parking

Entrance

2-7

Key

12/3/2021

Our purpose for the Conditional Use Permit is to sell vehicles at the location of 305 Main Street East, Isanti, MN 55040.

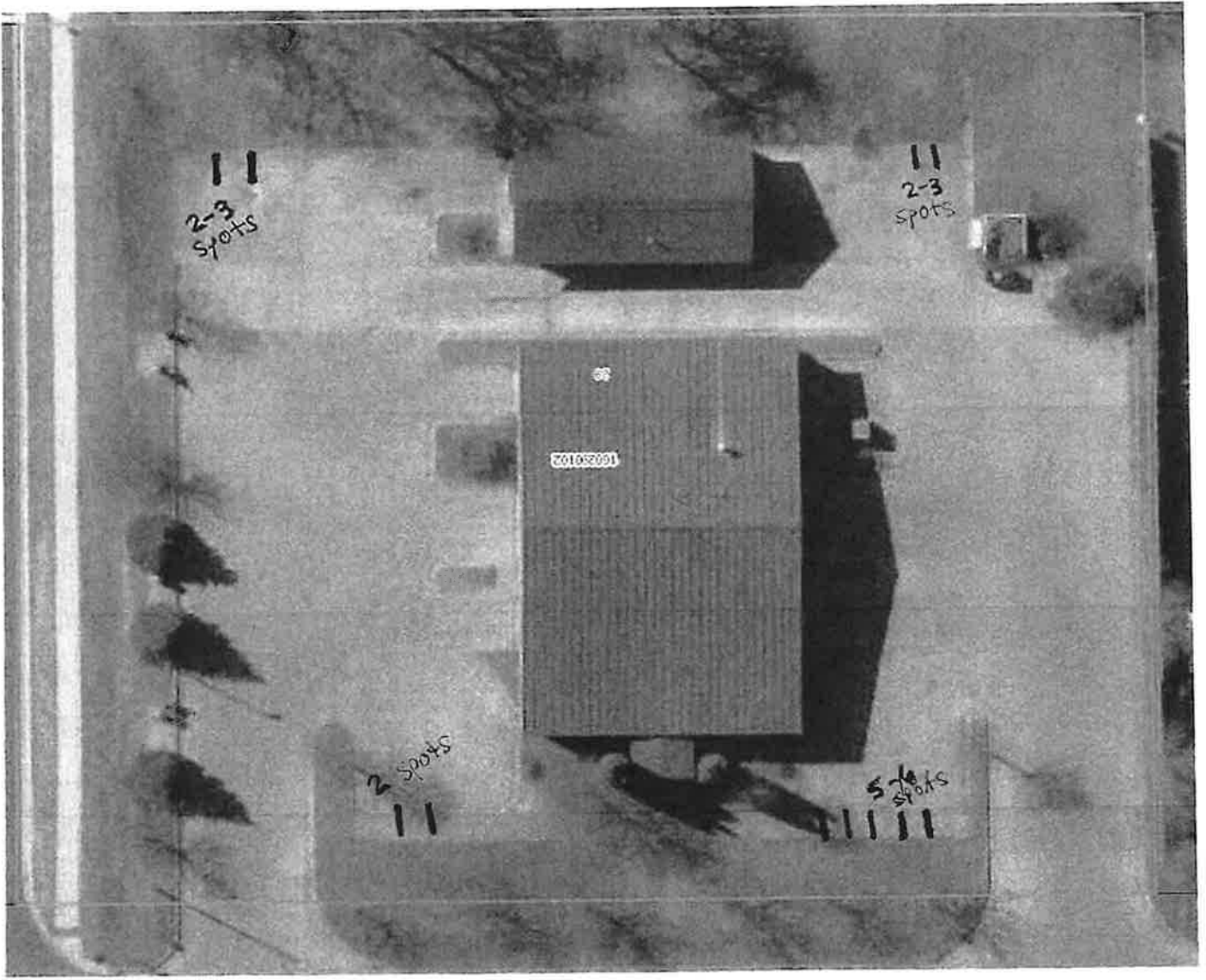
Sincerely,

A handwritten signature in black ink, appearing to read "Jim Bergman", with a long horizontal flourish extending to the right.

Jim Bergman /Sportsmen Specialties

* 305 Main Street

Parking
12-15 cars max



PUBLIC HEARING NOTICE
CITY OF ISANTI

TO: Property owners within 350' of the subject sites.
DATE/LOCATION OF HEARING: Planning Commission Meeting: December 21, 2021
at 7:00pm or shortly thereafter the City Council Meeting, at
the Isanti City Hall located at 110 First Avenue NW
DEVELOPMENT/ APPLICANT: Sportsmen Specialties
LOCATION/LEGAL DESCRIPTION: 305 Main St E, PID 16.029.0102

REQUEST(S): CUP Amendment

The applicant is requesting a Conditional Use Permit Amendment at the Hurricane Car Wash location at 305 Main St E to allow site modifications for an auto sales lot

The Planning Commission conducts public hearings on these requests and makes a recommendation to the City Council.

- HOW TO PARTICIPATE:**
1. You may attend the meeting and voice your concerns/support/questions.
 2. You may also send comments/concerns/support by email to shillesheim@cityofisanti.us , or by mail to Community Development Department: 110 First Ave NW, PO Box 428 Isanti MN 55040 or fax 763-444-5560

QUESTIONS: Call the Community Development Director at (763) 762-5761 or send email to shillesheim@cityofisanti.us

Mailing Date: December 10, 2021

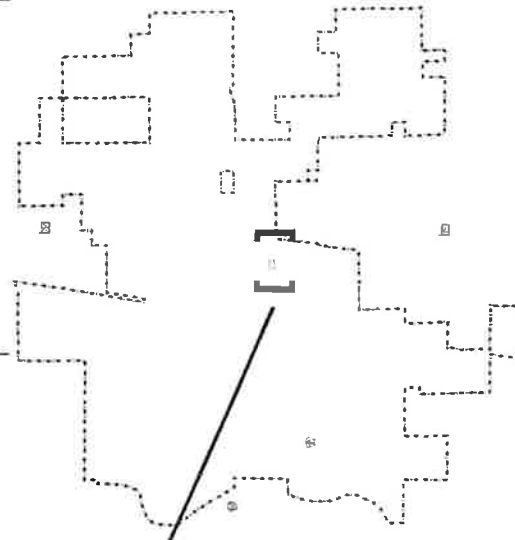
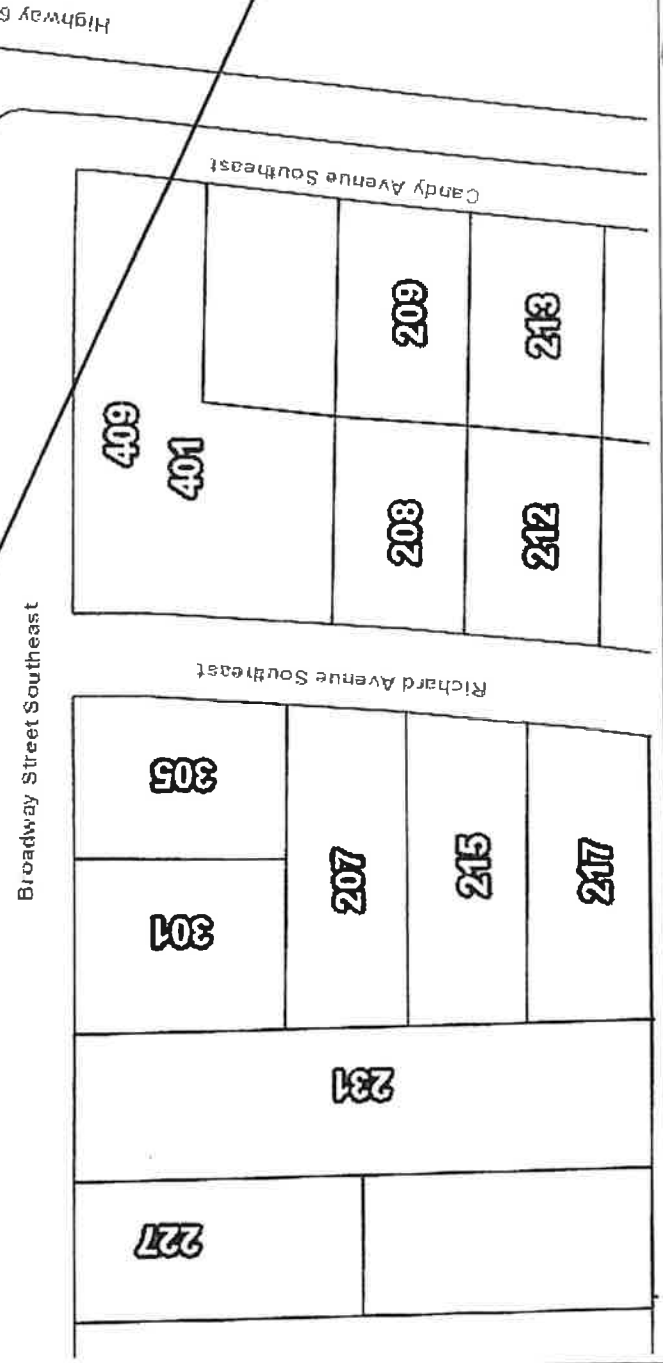
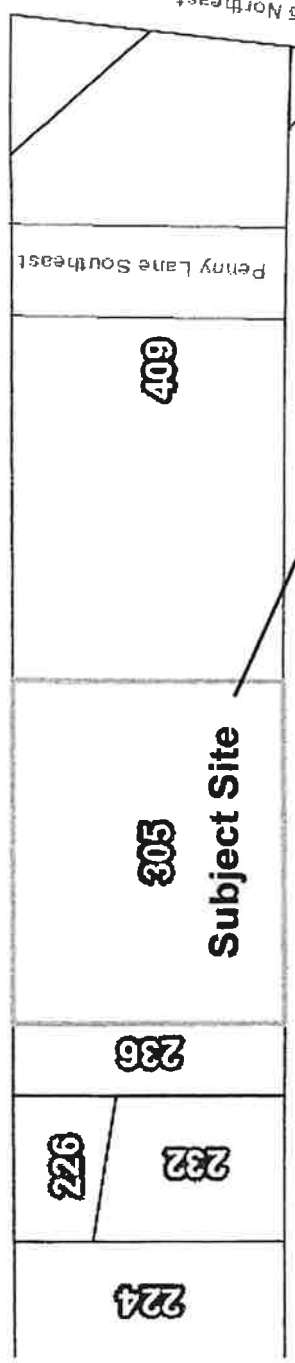
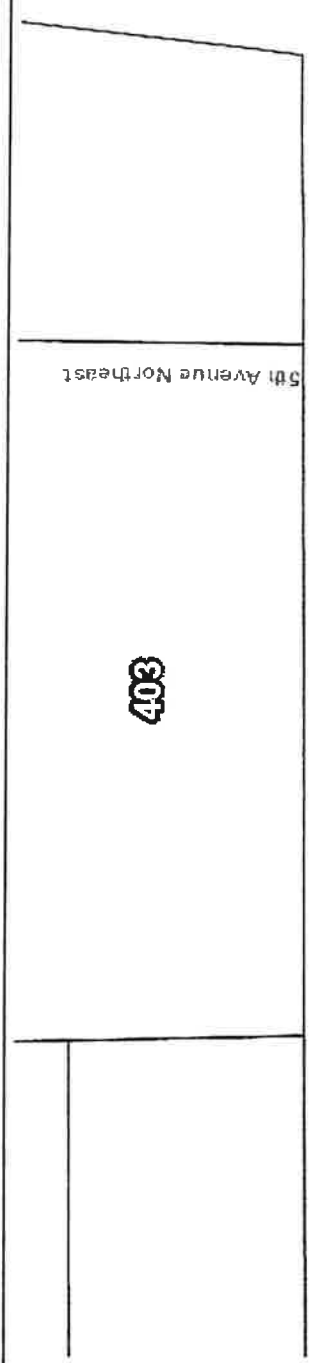
- See Map on Reverse Side -



Legend

Parcels

City Limits



Disclaimer:

This drawing is neither a legally recorded map nor a survey and is not intended to be used as one. This drawing is a compilation of records, information, and data located in various city, county, and state offices, and other sources affecting the area shown, and is to be used for reference purposes only. The City of Isanti is not responsible for any inaccuracies herein combined.



BOLTON & MENK

Real People. Real Solutions.

Site Location Map - 305 Main St E

0 132 Feet

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RESOLUTION NO. 2003-022

**A RESOLUTION APPROVING THE CONDITIONAL USE PERMIT AS REQUESTED
BY ABOODY ENTERPRISES, LLC AT 305 EAST MAIN STREET**

WHEREAS, Richard Aboody has applied for a Conditional Use Permit at 305 East Main Street to allow Auto Sales as an additional use to the site; and

WHEREAS, the Planning Commission held a public hearing to consider the Conditional Use Permit request on February 10, 2003; and

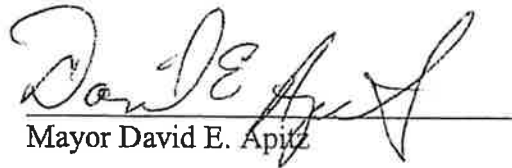
WHEREAS, the Planning Commission voted unanimously to recommend approval of the Conditional Use Permit request with certain conditions.

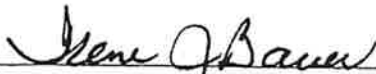
NOW, THEREFORE, IT IS HEREBY RESOLVED by the City Council of the City of Isanti, Minnesota that Richard Aboody's request for a Conditional Use Permit is hereby approved (denied) that will allow for Auto Sales at 305 East Main Street with the following conditions:

1. The new building must have impervious surface driveways with curb and gutter.
2. The new building must obtain sign permit(s) for any signs erected or placed on it.
3. The site is limited to displaying a maximum of five (5) vehicles on the lot for sale in the location shown on the southeast corner of the lot. Any expansion of sales for additional vehicles must obtain a modification of the Conditional Use Permit (CUP) by City Council.
- 4. The new building must place bushes and trees as indicated to soften the effects on neighboring residential uses.
5. The hours of operation of the vehicle sales must not begin before 8:00 a.m. in the morning, and not extend past 8:00 p.m.
6. No exhibition driving or revving of engines which may cause noise pollution to neighboring properties.
7. Should the applicant add additional lighting, no light shall illumine the neighboring properties.
- 8. The applicant must construct a fence to soften the effects of the auto sales upon neighboring residences.
- > 9. The applicant must place plantings next to the constructed fence.

Adopted by the Isanti City Council on this 18th day of February 2003.

Attest:


Mayor David E. Apitz


Irene J. Bauer, City Clerk-Treasurer

(SEAL)